

# ***HISTORIC STRUCTURES SURVEY & DETERMINATION OF ELIGIBILITY REPORT***

SR 0080-17M, Interstate 80 (I-80) Reconstruction Project  
ER No. 2013-8131-089



Stroud Township, Stroudsburg Borough, and East Stroudsburg  
Monroe County, PA

Prepared for:



Engineering District 5-0  
1002 Hamilton Street | Allentown PA 18101

Prepared on behalf of:



1700 Market Street  
Philadelphia, PA 19103

and



5 Capital Drive  
Harrisburg, PA 17110

## ***VOLUME 2***

OCTOBER 2016

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Harrisburg, PA 17110

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***VOLUME 2  
APPENDIX E - STANDARD  
PENNSYLVANIA HISTORIC  
RESOURCE SURVEY (PHRS) FORMS***

# Historic Resource Survey Form

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION  
 Pennsylvania State Historic Preservation Office (PA SHPO)

Key # 038764

ER# 2013-8131-089

## Name, Location and Ownership *(Items 1-6; see Instructions, page 4)*

**HISTORIC NAME:** Stroud-Hollinshead House

**CURRENT/Common NAME:** 1303 Dreher Avenue

**STREET ADDRESS:** 1303 Dreher Avenue, Stroudsburg, PA **ZIP** 18360

**LOCATION:** East side of Dreher Avenue approximately 400 feet northeast of the intersection with Kautz Street

**MUNICIPALITY:** Stroudsburg Borough **COUNTY:** Monroe

**TAX PARCEL #/YEAR:** 18730009151686 **USGS QUAD:** Stroudsburg, PA

**OWNERSHIP**  Private  
 Public/Local  Public/County  Public/State  Public/Federal

**OWNER NAME/ADDRESS:** John G. and Norma J. Fetherman/1303 Dreher Avenue, Stroudsburg, PA 18360

**CATEGORY OF PROPERTY**  Building  Site  Structure  Object  District

**TOTAL NUMBER OF RESOURCES:** 3

## Function *(Items 7-8; see Instructions, pages 4-6)*

Historic Function	Subcategory	Particular Type
<u>Domestic</u>	<u>single family dwelling</u>	<u>house</u>
<u>Domestic</u>	<u>secondary building</u>	<u>garage</u>
_____	_____	_____
_____	_____	_____
Current Function	Subcategory	Particular Type
<u>Domestic</u>	<u>single family dwelling</u>	<u>house</u>
<u>Domestic</u>	<u>secondary building</u>	<u>garage</u>
_____	_____	_____
_____	_____	_____

## Architectural/Property Information *(Items 9-14; see Instructions, pages 6-7)*

### ARCHITECTURAL CLASSIFICATION

Georgian Colonial Revival

\_\_\_\_\_

\_\_\_\_\_

### EXTERIOR MATERIALS and STRUCTURAL SYSTEM

Foundation Stone \_\_\_\_\_

Walls Stone \_\_\_\_\_

Roof Slate \_\_\_\_\_

Other \_\_\_\_\_

Structural System Masonry \_\_\_\_\_

**WIDTH:** (feet) or 5 (# bays) **DEPTH:** (feet) or 2 (# rooms) **STORIES/HEIGHT:** 2.5



**Property Features** (Items 15-17; see Instructions, pages 7-8)

Setting: Suburban

**Ancillary Features**

_____	_____	_____
_____	_____	_____
_____	_____	_____

Acreage 2.4 (round to nearest tenth)

**Historical Information** (Items 18-21; see Instructions, page 8)

Year Construction Began: 1800  Circa      Year Completed \_\_\_\_\_  Circa

Date of Major Additions, Alterations 1935  Circa      \_\_\_\_\_  Circa      \_\_\_\_\_  Circa

Basis for Dating  Documentary     Physical

Explain: Deeds note that buildings/structures were on the property by 1806.

Cultural/Ethnic Affiliation(s): N/A

Associated Individual(s): Jacob Stroud, Sarah Hollinshead, Frank Patterson, Sr.

Associated Event(s): N/A

Architect(s): Unknown

Builder(s): Jacob Stroud

**Submission Information** (Items 22-23; see Instructions, page 8)

Previous Survey/Determinations: Monroe County survey – 089-STBG-104/None

Threats  None     Neglect     Public Development     Private Development     Other

Explain: The property is located within the APE for the SR 0080-17M Reconstruction Project

This submission is related to a  non-profit grant application       business tax incentive  
 NHPA/PA History Code Project Review     other

**Preparer Information** (Items 24-30; see Instructions, page 9)

Name & Title: Jerry A. Clouse, MA

Date Prepared: May 17, 2016

Project Name: SR 0080-17M Reconstruction Project

Organization/Company: McCormick Taylor, Inc.

Mailing Address: 5 Capital Drive, Suite 400, Harrisburg, Pennsylvania 17110

Phone: 717-540-6040

Email: jaclouse@mccormicktaylor.com

**National Register Evaluation** *(Item 31; see Instructions, page 9)*  
**(To be completed by Survey Director, Agency Consultant, or for Project Reviews ONLY.)**

- Not Eligible (due to  lack of significance and/or  lack of integrity)  
 Eligible Area(s) of Significance: Criteria C architecture  
Criteria Considerations \_\_\_\_\_ Period of Significance: 1800-1935  
 Contributes to Potential or Eligible District District Name \_\_\_\_\_

**Bibliography** *(Item 32; cite major references consulted. Attach additional page if needed. See Instructions, page 9.)*

See Continuation Sheet 14

**Additional Information**

The following must be submitted with form. Check the appropriate box as each piece is completed and attach to form with paperclip.

- Narrative Sheets—Description/Integrity and History/Significance (See Instructions, pages 13-14)  
 Current Photos (See Instructions, page 10)  
 Photo List (See Instructions, page 11)  
 Site Map (sketch site map on 8.5x11 page; include North arrow, approximate scale; label all resources, street names, and geographic features; show exterior photo locations; See Instructions, page 11)  
 Floor Plan (sketch main building plans on 8.5x11 page; include North arrow, scale bar or length/width dimensions; label rooms; show interior photo locations; See Instructions, page 11)  
 USGS Map (submit original, photocopy, or download from TopoZone.com; See Instructions, page 12)

**Send Completed Form and Additional Information to:**

National Register Program  
Pennsylvania State Preservation Office (PA SHPO)  
Keystone Bldg., 2<sup>nd</sup> Floor  
400 North St.  
Harrisburg, PA 17120-0093

**Photo List** (Item 33)

See pages 10-11 of the Instructions for more information regarding photos and the photo list. In addition to this photo list, create a photo key for the site plan and floor plans by placing the photo number in the location the photographer was standing on the appropriate plan. Place a small arrow next to the photo number indicating the direction the camera was pointed. Label individual photos on the reverse side or provide a caption underneath digital photos.

Photographer name: Charles Richmond

Date: September 4, 2015

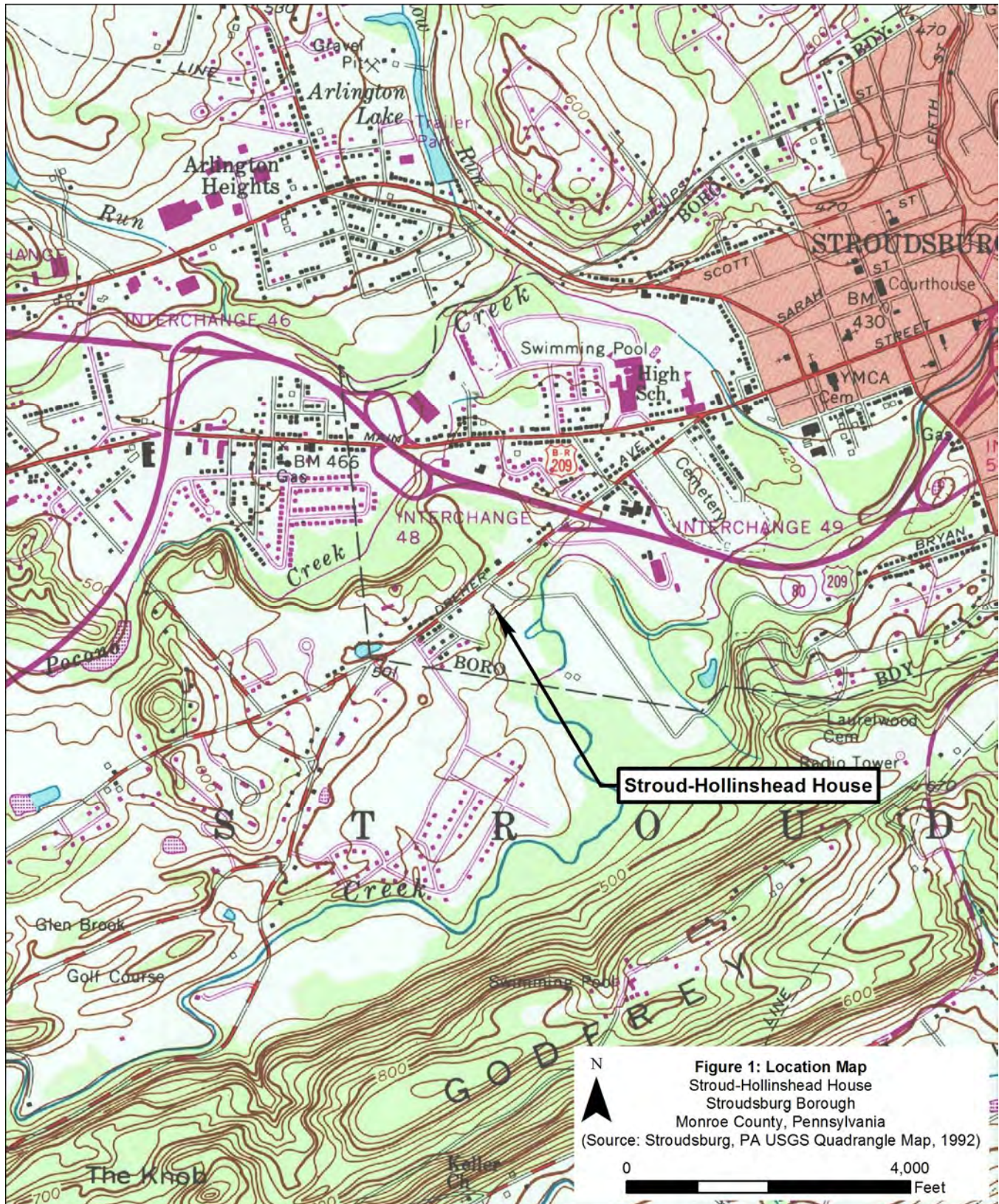
Location Negatives/Electronic Images Stored: McCormick Taylor, Inc. 5 Capital Drive, Harrisburg, Pennsylvania 17110

Photo #	Photo Subject/Description	Camera Facing
1	View looking south at north and west elevations of the Stroud-Hollinshead House.	S
2	View looking south at the Façade of the Stroud-Hollinshead House.	S
3	View looking southwest at the façade of the Stroud-Hollinshead House.	SW
4	View looking northwest at east and south elevations of the Stroud-Hollinshead House.	NW
5	View of west elevation of the Stroud-Hollinshead House, including porch addition.	E
6	View looking northeast at the west elevation of the Stroud-Hollinshead House, which includes a twentieth century addition with Colonial Revival-style elements.	NE
7	View looking south at the garage/work shop.	S
8	View looking northeast at the rear of the garage/work shop.	NE
9	View looking southwest at the modern gambrel roof shed.	SW



**Location Map** (Item 34)

See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.



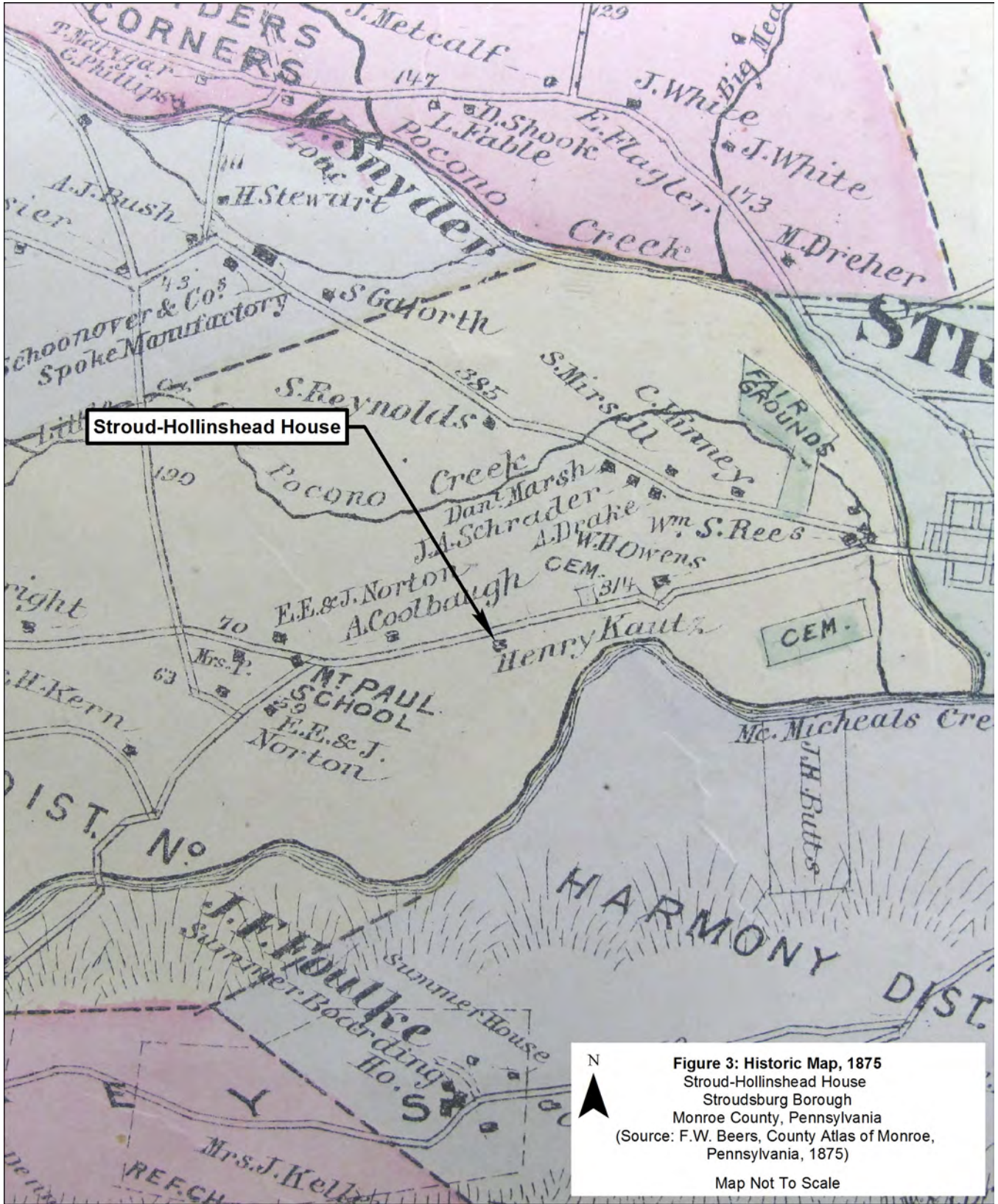


### Site Plan (Item 35)

See page 11 of the Instructions for more information regarding the floor plan. Provide a floor plan for the primary buildings, showing all additions. Label rooms and note important features. Note the date of additions. Include a North arrow and a scale bar (note if scale is approximate) or indicate width/depth dimensions. This sheet may be used to sketch a floor plan or another map/plan may be substituted.

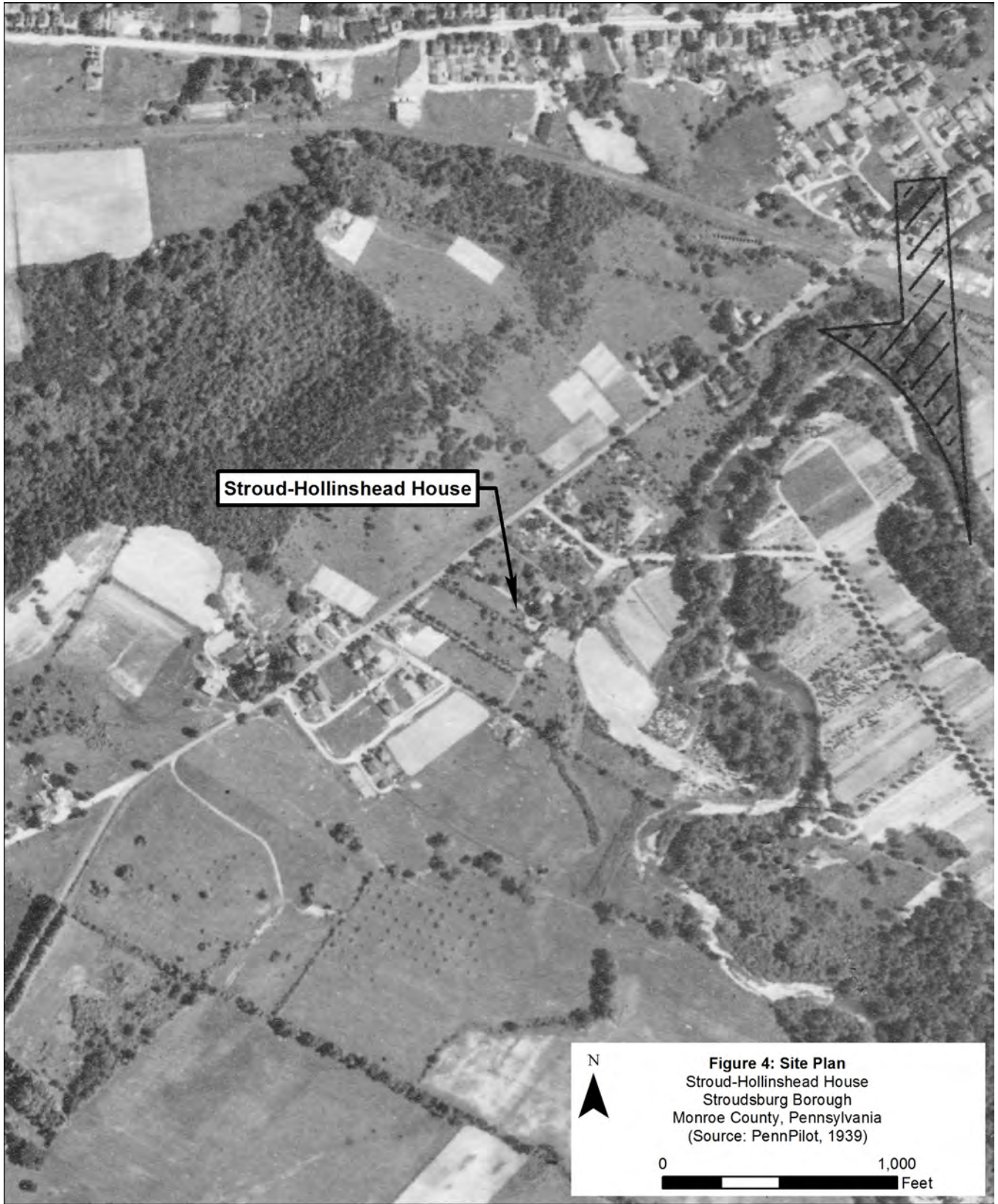






**Figure 3: Historic Map, 1875**  
Stroud-Hollinshead House  
Stroudsburg Borough  
Monroe County, Pennsylvania  
(Source: F.W. Beers, County Atlas of Monroe,  
Pennsylvania, 1875)  
Map Not To Scale





## Physical Description and Integrity (Item 38)

Provide a current description of the overall setting, landscape, and resources of the property. See page 13 of the Instructions for detailed directions. Continue on additional sheets as needed. Suggested outline for organizing this section:

- Introduction [summarize the property, stating type(s) of resource(s) and function(s)]
- Setting [describe geographic location, streetscapes, natural/man-made landscape features, signage, etc.]
- Exterior materials, style, and features [describe the exterior of main buildings/resources]
- Interior materials, style, and features [describe the interior of main buildings/resources]
- Outbuildings/Landscape [describe briefly additional outbuildings/landscape features found on property, substitute Building Complex Form if preferred; See Instructions, page 18]
- Boundaries [explain how/why boundaries chosen, such as historic legal parcel, visual natural features such as tree lines, alley separating modern construction, etc.]
- Integrity [summarize changes to the property and assess how the changes impact its ability to convey significance]

### Setting

The Stroud-Hollinshead House, at 1303 Dreher Avenue, is sited on a landscaped lot with mature trees and shrubs and overlooks Dreher Avenue to the northwest. The property is located in Stroudsburg Borough near the Stroud Township line. A stone summer kitchen stands at the southwest corner of the house and has been incorporated into the main house through a frame addition. There is a stone garage to the west side of the summer kitchen with an attached work shop, and a modern frame utility shop is located immediately west of the garage. The Stroud-Hollinshead House was originally part of a farm which became subdivided in the early twentieth century, and the property is now largely surrounded by early-to-late twentieth century residential housing.

### House

The Stroud-Hollinshead House is a five-bay, two-and-a-half story, ashlar sandstone house with Georgian and Colonial Revival style features (**Photographs 1-3**). Its Georgian features include the five-bay façade, the center-hall plan, and cornice returns. Colonial Revival style elements include the board and batten shutters, the Doric columned hood over the front door, and the shed-roof side porch with bold, square columns. The c. 1800 house is two bays deep, and it is banked to the west allowing for a bulkhead cellar entrance at the southeast corner. There is a stuccoed interior chimney at the east gable end, and a simple molded cornice runs just above the second-floor windows. The house's gable roof is covered with slate shingles.

The focus of the house's façade is its central front door with its six raised panels (**Photograph 3**). These are mirrored in the adjoining paneled reveal. The exterior molded trim around the reveal features a keystone. There is a multi-pane arched transom with wood frame above the door. The door surround features round Doric pilasters which are topped with a pediment and open tympanum.

The windows throughout the main block of the house have nine-pane upper sash and six-pane lower sash. All of the windows have molded wood surrounds and wide, wooden sills. The attic windows are six-pane, fixed wood sash with single-panel shutters. The windows in the enclosed section of the side-porch addition are single and paired with six-over-six double-hung wood sash. The windows in the rear sun porch are large, multi-pane wood sash.

A wide shed-roof porch with Colonial Revival style elements was added to the west gable end in the early-to-mid twentieth century (**Photographs 2 & 5**). There are double columns at the northwest corner. The porch is enclosed at the southwest corner where it connects to the former, gable-front summer kitchen at the rear of the house (**Photograph 6**). The enclosed section is sheathed with horizontal lapped siding. The entire porch wing is covered with slate tiles. Another porch addition/sun room extends along the rear of the



house and connects to the enclosed section of the side porch (**Photograph 4**). The patio/yard behind the sun room is enclosed with a modern metal fence resembling wrought iron.

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### Summer Kitchen

A two-bay, single-story, c. 1810 ashlar sandstone summer kitchen stands at the southwest corner of the main house (**Photograph 6**). The two-bay deep structure is connected to the main house via the frame enclosure to the rear of the side porch and appears to currently serve as the rear entrance into the main block of the house. The gable-front entrance has a stoop sheltered with a canvas awning, and the gable ends of the building are sheathed with horizontal board siding. Colonial Revival style details include the six-over-six, double-hung, wood sash windows with shutters and a molded wood cornice with similar returns and a wide frieze board below.

### Garage/Work Room

A three-bay, one-and-a-half story, c. 1940 stone and frame garage with Colonial Revival style elements stands to the south of the summer kitchen (**Photographs 7 & 8**). The building features ashlar sandstone walls and rests on a poured concrete foundation. A wood frame lunette is featured in the gable of the east elevation. There is a three-bay, one-story frame addition to the west gable end of the building. Wood roll-up doors with sunken panels and multi-pane windows fill the garage bays. Colonial Revival details include the molded cornice and returns, multi-pane windows, and a frame cupola with a weather vane centered on the ridge of the gable roof.

### Utility Shed

A one-and-a-half story modern, frame, gambrel roof utility shed stands west of the garage (**Photograph 9**). It is sheathed with modern synthetic materials.

## History and Significance (Item 39)

Provide an overview of the history of the property and its various resources. Do not substitute deeds, chapters from local history books, or newspaper articles. See page 14 of the Instructions for detailed directions. Continue on additional sheets as needed.

Suggested outline for organizing this section:

- History [Summarize the evolution of the property from origin to present]
- Significance [Explain why the property is important]
- Context and Comparisons [Describe briefly similar properties in the area, and explain how this property compares]

According to local tradition, the Stroud/Hollinshead House was constructed c. 1800 by Jacob Stroud (c. 1735-1806) for his fourth child, Sarah (1770-1853), who became the wife of Dr. James Hollinshead. Sarah and James were married in 1794 and according to tradition soon after moved into the newly constructed stone house. (The 1798 Direct Tax was checked for Hamilton Township, Northampton County, but no listing was located.) Stroud, who laid out Stroudsburg in 1799, had been a colonel during the American Revolution and owned about 4000 acres in the vicinity of the village (Day 1843: 476). Jacob Stroud died in 1806, and his daughter Sarah inherited the 118-acre farm with the “houses, out houses, edifices, and buildings thereon erected” (Monroe County Deed Book 5: 602). Consequently, it would appear that the house was definitely constructed prior to 1806 when Jacob Stroud died. Dr. James Hollinshead died March 5, 1831 and is buried in the Hollinshead Cemetery adjoining present-day Dreher Avenue on what was then known as Kabers Hill. Although Dr. Hollinshead would have been important as a medical doctor in a sparsely settled area such as Stroudsburg in the early nineteenth century, nothing further has been found to document his achievements.

The 1850 population census for Stroud Township shows Sarah Hollinshead, aged 80, as the head of household, with her son James, aged 38, as a millwright. Along with James, was his wife Frances, aged 33, and their three children, aged from two to ten. Also in the household was Lidia Washington, a female African-American servant aged 9 years, and Edward Grott, a 19-year old male Caucasian laborer. In 1851 Sarah deeded the property in trust to her son James (Monroe County Deed Book 5: 602). The deed stipulated that James provide for Sarah during her lifetime. Following Sarah’s death in 1853, Henry Kautz purchased the farm in 1856 from the Hollinshead heirs (Monroe County Deed Book 7: 562). The 213-acre tract to Kautz did not include the burial ground. Sarah is also buried in the Hollinshead Cemetery along with some of her children. (Evidently, the Hollinshead family had added to the acreage since 1806.)

Henry Kautz (1806-1890) emigrated from Baiern (Bavaria), Germany, in 1833 and settled in Northampton County, Pennsylvania. He was married to Elizabeth Schoch (1810-1897). The 1860 population census for Stroud Township notes Henry Koutz (sic), aged 54, as a farmer, born in Germany. He is listed with \$8000 worth of real estate and \$500 worth of personal estate. He and his wife Elizabeth, aged 50, have five children aged 10 through 19 in the household. After Henry Kautz’ death, his sons Philip and John Kautz purchased their father’s farm in 1891 from their mother and remaining two siblings (Monroe County Deed Book 43: 23).

The 1900 population census for Stroudsburg notes John Kautz, aged 58, as a farmer. Also in the household is his wife Flora, aged 37, and their two daughters Bertha, aged 8, and Eleanor, aged 5. John’s brother, Philip, aged 59, is also in the household. The 1901 City Directory lists John and Philip Kautz as farmers living on Dreher Avenue near the Stroudsburg limits. John J. Kautz died January 3, 1904 intestate leaving a widow, Flora A. Kautz and two children, Bertha and Eleanor. John Kautz’s obituary in the Stroudsburg *Daily Times* noted that he was one of the best known residents of town. It also stated that he was a farmer and an auditor and assessor for Stroud Township. In addition, he had been a member of Stroudsburg town council, the Lutheran Church, Knights of Pythias and the Fort Penn Odd Fellows. (Bertha became the wife of Evan S. Kintz in 1914, and Eleanor became the wife of J. Russell Middaugh.)

Philip Kautz died March 23, 1905 at his home on Dreher Avenue, aged nearly 66 years, intestate, and unmarried.

According to his obituary in the Stroudsburg *Jeffersonian*, he had been born in Mt. Bethel Township, Northampton County, and 47 years ago moved with his parents to the farm where he spent the balance of his life. It stated, "Mr. Kautz was a strong, conscientious and reliable character." In 1916 Flora Kautz, and Eleanor and Russell Middaugh conveyed their two-thirds interest in the Kautz property to Bertha J. Kintz (Monroe County Deed Book 76: 609). At that time it was bound by a cobble masonry wall fronting Dreher Avenue and by the "Hollinshead Burying Ground."

The 1920 population census shows Evan Kintz, aged 26, living on Dreher Avenue in Stroud Township. Also in his household is his wife Bertha, aged 26, and their son Jacob, aged 3. Evan is noted as a book keeper for a wholesale business. Evidently living next door is Bertha's sister Eleanor Middaugh, aged 26, Eleanor's husband Russell Middaugh, and her mother Flora Kautz, aged 59.

In 1921 there was an agreement made between Flora Kautz, widow, Evan S. Kintz and wife Bertha of Stroudsburg and J. Russell Middaugh and wife Eleanor of Lancaster, Pennsylvania, by their attorney, sellers to Ferdinand Witt of New York City, purchaser, for the portion of the Kautz farm with the buildings and improvements thereon (Monroe County Miscellaneous Deed Book H: 10). (Witt was the architect for Elks Lodge No. 319 and Kemp Post American Legion in Stroudsburg.) The agreement specified what improvements the buyer could make to the house, including the removal of the stucco and the front and rear porches. Once the stucco was removed, the stone work was to be repointed and "put in proper condition." It also noted that he could install a lavatory on the first floor and a bathroom on the second floor. The agreement also specified that the new owner could demolish the two barns on the property once the owner had begun construction of a new barn, not costing less than \$4,000. The purchaser was also allowed to remove outbuildings including the wash house, smoke house, corn cribs, and hog pen. (It is unknown whether Witt made any of the changes specified in the agreement, but his brief ownership would indicate that they were not made.)

Ferdinand Witt, President of 318 West 105 Street Corporation, transferred his interest in the Kautz property to Janet Norton Worthington in 1922 (Monroe County Miscellaneous Deed Book H: 200). In 1926, Janet Worthington sold the same tract to George V. Palmer (Monroe County Deed Book 98: 120). In 1927 Palmer deeded the tract to his wife Bess Armstrong Palmer who died in June 1928. This is confirmed by a 1927 history of the Hollinshead Family written by Elizabeth Hollinshead Bell, in which she states that George V. Palmer, was occupying the farmstead in that year (Hollinshead file at Monroe County Historical Society). Palmer was a New York financier who later married Mary Kintner of Stroudsburg (Kautz file at Monroe County Historical Society) In 1935, George V. Palmer and wife Mary K. deeded the house and tract to Frank L. Patterson, formerly of New York City (Monroe County Deed Book 122: 359). The property was described at that time as all of Plot A and lots #1 through #5 of the Map of Maple Terrace which were surveyed and plotted in 1935 by J. L. Westbrook, C.E.

The 1940 population census for Stroudsburg notes Frank Patterson, aged 68, as the president of a water/heating company. Also in his household is his wife Grace, aged 60, and their "house man" and housekeeper. (Grace was the daughter of Benjamin F. Kelley and wife Mary Stagg.) Frank L. Patterson, Sr., died in 1950 at his home on Dreher Avenue. His obituary noted that he was president of Patterson-Kelley, Inc., a firm created in 1917 as a result of the merger of the Benjamin F. Kelley & Son firm, founded in 1880, and the Frank L. Patterson & Company, founded in 1898. The company operated out of Brooklyn, New York, prior to moving to East Stroudsburg following World War I. The company specialized in the design and manufacture of heat exchange equipment. During World War II production was focused on equipment for the United States Navy. Also according to Patterson's obituary, the firm was selected to produce equipment which helped perfect the atomic bomb and ended World War II (Patterson file at Monroe County Historical Society).

Frank Patterson, Sr.'s widow Grace died in 1957, leaving one son Frank Patterson, Jr. In 1958 Frank L. Patterson (Jr.) and his wife Elizabeth Ball Patterson deeded the

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Stroud/Hollinshead property to themselves (Monroe County Deed Book 248: 460). Frank L. Patterson, Jr., died December 19, 1987 aged 89 years. He was noted as the former Chief Executive Officer of the Patterson-Kelley Company of East Stroudsburg (Patterson Family file at Monroe County Historical Society). Frank's wife Elizabeth died September 17, 1988, and an estate sale, "consisting of many fine antiques and quality furnishings," was held April 21, 1989. The property left the Patterson family name in 1989 when Frank Linton Patterson III and Laird D. Patterson, executors of Elizabeth Ball Patterson, sold the property to Charles Cahn of Stroudsburg (Monroe County Deed Book 1678: 994).

### **Integrity**

The c. 1800 Stroud-Hollinshead House retains a high degree of integrity of design, setting, feeling, and materials from its original Georgian design as well as from its 1930s renovations done in the Colonial Revival style. The house is clearly recognizable for its Colonial Revival style elements including its symmetrical façade with six-over-six, double-hung sash windows, wide overhanging eaves and porch with square columns and massive support piers. Other original intact features of the property include the attached stone summer kitchen and the adjoining stone garage. Both the summer kitchen and garage have strong characteristics of the Colonial Revival design including the molded cornices, cornice returns and multi-paned windows with attached shutters. However, the rural, agricultural setting from the original construction period of the house is no longer extant. This does not detract from the house's architectural characteristics.

### **National Register of Historic Places Evaluation**

The Stroud-Hollinshead House was evaluated according to the criteria set forth in *National Register Bulletin 15: "How to Apply the National Register for Evaluation."* The property does not appear to be associated with any important historic events or trends under Criterion A. Although the house is associated with members of the Stroud and Hollinshead families, early and important settlers of the Stroudsburg area, no known significant events occurred on this property or were associated with this specific property. As evaluated under Criterion B, the Stroud-Hollinshead House is not known to be associated with any individuals of local, state, or national significance. Jacob Stroud who likely built the house is better represented with the National Register listed Stroud Mansion (Key # 000586) which he constructed for his son John and was later owned by his son Daniel. As evaluated under Criterion C, the Stroud-Hollinshead House is recommended eligible for the National Register of Historic Places for its Georgian and Colonial Revival style elements, retaining a high degree of integrity. Its Georgian features include the five-bay façade, the center-hall plan, and cornice returns. Colonial Revival style elements include the board and batten shutters, the Doric columned hood over the front door, and the shed-roof side porch with bold, square columns. In addition, the attached stone summer kitchen reflects the Colonial Revival with its multi-pane windows, attached shutters and molded cornice. The three-bay stone garage also mirrors elements of the Colonial Revival, and taken together the buildings provide a nearly text-book example of qualities sought by the Colonial Revival style. Archaeological investigations have not been conducted on the property; therefore, the resource's eligibility under Criterion D (potential to yield information important to history or prehistory) cannot be assessed at this time. The Stroud-Hollinshead House is recommended eligible for the National Register of Historic Places.

### **National Register Boundary Description**

The 2.35-acre Stroud-Hollinshead House property is generally bound by Dreher Avenue to the northwest, multiple twentieth century building lots to the southwest, a mature woods to the southeast, and an early twentieth century house and lot to the northeast. The boundary is the current tax parcel excepting the small,



separate parcel at the southwest corner containing the modern shed on the property. This was excluded as it did not contribute to the architectural significance of the Stroud-Hollinshead House. Otherwise, the boundary contains the house, attached summer kitchen, garage, and the landscaped lawn, all of the contributing elements of the property.

Key #	038764
ER#	2013-8131-089

### **Bibliography**

Beers, F.W. *County Atlas of Monroe, Pennsylvania*. New York: F.W. Beers & Company, 1875.

Elizabeth Hollinshead Bell, *The Hollinshead Family*, n.p., 1927.

Hollinshead Family File, Monroe County Historical Society.

Kautz Family File, Monroe County Historical Society.

Monroe County Deed Book 5: 602; 7: 562; 43:23; 76: 609; 98: 120; 122: 359; 1678: 994.

Monroe County Miscellaneous Deed Book H: 200.

Patterson Family File, Monroe County Historical Society.

United States Census Bureau. *1850 United States Federal Census*. On File at the Harrisburg State Museum, 1850.

United States Census Bureau. *1860 United States Federal Census*. On File at the Harrisburg State Museum, 1860.

United States Census Bureau. *1900 United States Federal Census*. On File at the Harrisburg State Museum, 1900.

United States Census Bureau. *1920 United States Federal Census*. On File at the Harrisburg State Museum, 1920.

Van Vliet Family File, Monroe County Historical Society.



Photograph 1: Façade and west elevation of the Stroud-Hollinshead House at 1303 Dreher Avenue.



Photograph 2: Façade of the Stroud-Hollinshead House.





Photograph 3: View looking southwest at the façade of the Stroud-Hollinshead House.



Photograph 4: View looking northwest at east and south elevations of the Stroud-Hollinshead House.





Photograph 5: View of west elevation of the Stroud-Hollinshead House, including porch addition.



Photograph 6: View looking northeast at the west elevation of the Stroud-Hollinshead House, showing a twentieth century addition connected to the stone summer kitchen.





Photograph 7: View looking south at the garage/work shop.



Photograph 8: View looking northeast at the rear of the garage/work shop.



Photograph 9: View looking southwest at the modern gambrel roof shed.



# Historic Resource Survey Form

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION  
Pennsylvania State Historic Preservation Office (PA SHPO)

Key # _____
ER# <u>2013-8131-089</u>

## Name, Location and Ownership *(Items 1-6; see Instructions, page 4)*

**HISTORIC NAME:** Camp Kirkwood  
**CURRENT/Common Name:** Camp Kirkwood  
**STREET ADDRESS:** 127, 204 and 315 Kirkwood Road, Stroudsburg, PA **ZIP:** 18360  
**LOCATION:** Located along Kirkwood Road, south of Beech Street. Approximately 800 feet south of the I-80 and Whitestone Corner Road intersection.  
**MUNICIPALITY:** Stroud Township **COUNTY:** Monroe  
**TAX PARCEL #/YEAR:** 17639000084415 **USGS QUAD:** Stroudsburg, PA  
**OWNERSHIP**       **Private**  
                          **Public/Local**    **Public/County**    **Public/State**    **Public/Federal**  
**OWNER NAME/ADDRESS:** Presbytery of Philadelphia/915 E. Gowen Avenue, Philadelphia, PA 19150  
**CATEGORY OF PROPERTY**    **Building**    **Site**    **Structure**    **Object**    **District**  
**TOTAL NUMBER OF RESOURCES:** 24

## Function *(Items 7-8; see Instructions, pages 4-6)*

Historic Function	Subcategory	Particular Type
<u>Religion</u>	<u>Outdoor recreation</u>	<u>Camp</u>
_____	_____	_____
_____	_____	_____
Current Function	Subcategory	Particular Type
<u>Religion</u>	<u>Outdoor recreation</u>	<u>Camp</u>
_____	_____	_____
_____	_____	_____

## Architectural/Property Information *(Items 9-14; see Instructions, pages 6-7)*

### ARCHITECTURAL CLASSIFICATION

<u>Craftsman</u>	<u>No Style</u>
<u>A-Frame</u>	_____
<u>Railroad Car</u>	_____

### EXTERIOR MATERIALS and STRUCTURAL SYSTEM

Foundation	<u>Concrete</u>	_____
Walls	<u>Wood</u>	_____
Roof	<u>Asphalt</u>	_____
Other		_____
Structural System	<u>Frame</u>	_____

**WIDTH:** 2-4 (# bays)      **DEPTH:** (feet) or 1-4 (# rooms)      **STORIES/HEIGHT:** 1-2

**Property Features** (Items 15-17; see Instructions, pages 7-8)

Setting: Rural

**Ancillary Features**

<u>pond</u>	<u>bridge</u>	<u>entrance</u>
<u>trails</u>	_____	_____
_____	_____	_____

Acreage: 292.0 (round to nearest tenth)

**Historical Information** (Items 18-21; see Instructions, page 8)

Year Construction Began: 1910  Circa      Year Completed 2000  Circa

Date of Major Additions, Alterations 1960  Circa      \_\_\_\_\_  Circa      \_\_\_\_\_  Circa

Basis for Dating  Documentary  Physical

Explain: Based upon a physical inspection of the property and background literature research

Cultural/Ethnic Affiliation(s): Presbyterian Church

Associated Individual(s): None

Associated Event(s): None

Architect(s): Unknown

Builder(s): Presbytery of Philadelphia

**Submission Information** (Items 22-23; see Instructions, page 8)

Previous Survey/Determinations: None

Threats  None  Neglect  Public Development  Private Development  Other

Explain: The property is located within the APE for the SR 0080-17M Reconstruction Project

This submission is related to a  non-profit grant application  business tax incentive  
 NHPA/PA History Code Project Review  other

**Preparer Information** (Items 24-30; see Instructions, page 9)

Name & Title: Jerry A. Clouse, MA/Architectural Historian

Date Prepared: 5/20/2016

Project Name: SR 0080-17M Reconstruction Project

Organization/Company: McCormick Taylor, Inc.

Mailing Address: 5 Capital Drive, Suite 400, Harrisburg, Pennsylvania 17110

Phone: 717-540-6040

Email: JAClouse@mccormicktaylor.com

**National Register Evaluation** *(Item 31; see Instructions, page 9)*  
**(To be completed by Survey Director, Agency Consultant, or for Project Reviews ONLY.)**

Not Eligible (due to  lack of significance and/or  lack of integrity)  
 Eligible Area(s) of Significance \_\_\_\_\_  
Criteria Considerations \_\_\_\_\_ Period of Significance \_\_\_\_\_  
 Contributes to Potential or Eligible District District Name \_\_\_\_\_

**Bibliography** *(Item 32; cite major references consulted. Attach additional page if needed. See Instructions, page 9.)*

See Continuation Sheet 16

**Additional Information**

The following must be submitted with form. Check the appropriate box as each piece is completed and attach to form with paperclip.

- Narrative Sheets—Description/Integrity and History/Significance (See Instructions, pages 13-14)
- Current Photos (See Instructions, page 10)
- Photo List (See Instructions, page 11)
- Site Map (sketch site map on 8.5x11 page; include North arrow, approximate scale; label all resources, street names, and geographic features; show exterior photo locations; See Instructions, page 11)
- Floor Plan (sketch main building plans on 8.5x11 page; include North arrow, scale bar or length/width dimensions; label rooms; show interior photo locations; See Instructions, page 11)
- USGS Map (submit original, photocopy, or download from TopoZone.com; See Instructions, page 12)

**Send Completed Form and Additional Information to:**  
National Register Program  
Pennsylvania State Preservation Office (PA SHPO)  
Keystone Bldg., 2<sup>nd</sup> Floor  
400 North St.  
Harrisburg, PA 17120-0093

Key # _____
ER# <u>2013-8131-089</u>

## Photo List (Item 33)

See pages 10-11 of the Instructions for more information regarding photos and the photo list. In addition to this photo list, create a photo key for the site plan and floor plans by placing the photo number in the location the photographer was standing on the appropriate plan. Place a small arrow next to the photo number indicating the direction the camera was pointed. Label individual photos on the reverse side or provide a caption underneath digital photos.

Photographer name: Charles Richmond

Date: April 29, 2015

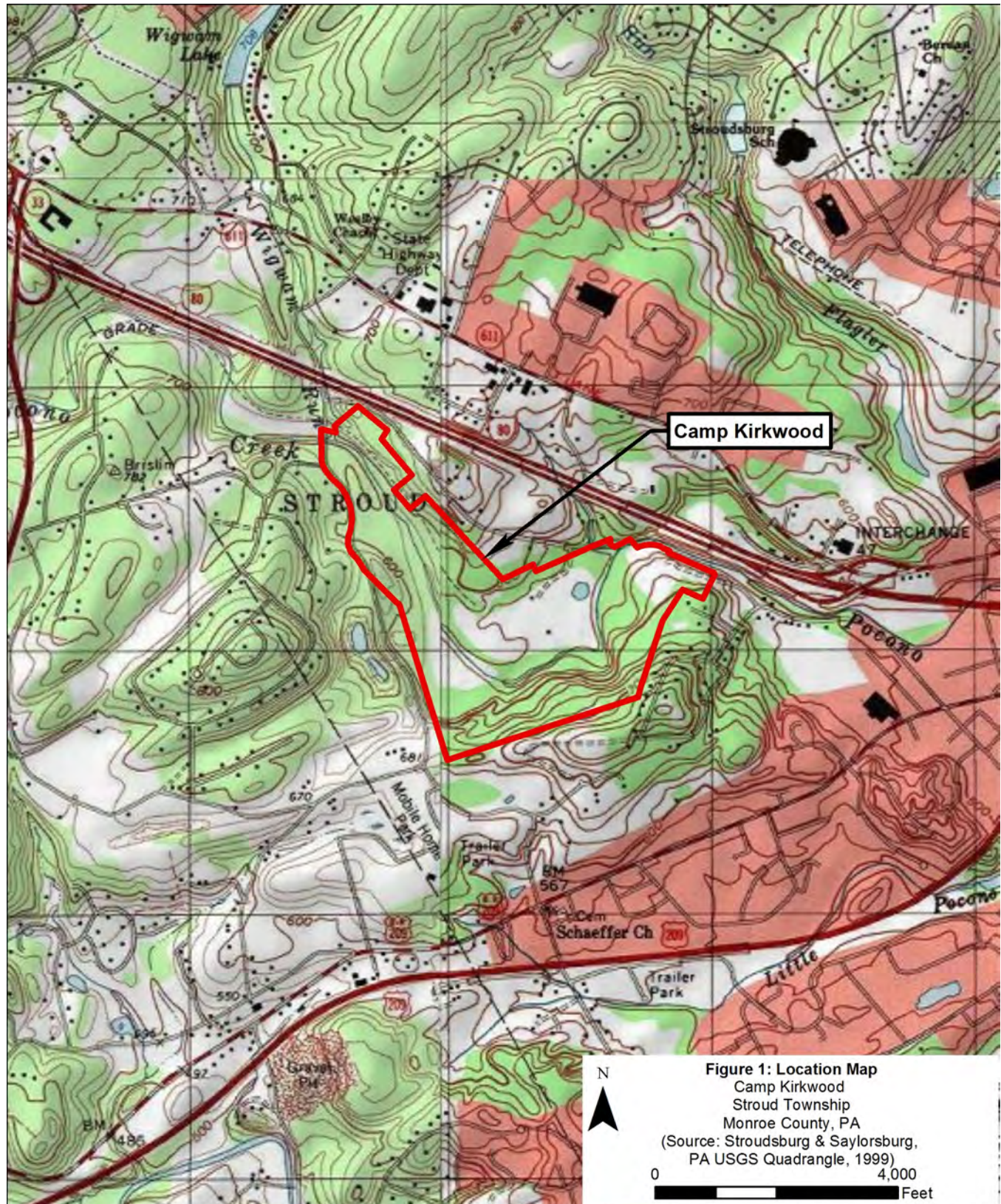
Location Negatives/Electronic Images Stored: McCormick Taylor, Inc. 5 Capital Drive, Harrisburg, Pennsylvania 17110

Photo #	Photo Subject/Description	Camera Facing
1	View of entrance gate to Camp Kirkwood looking southeast	SE
2	View looking at the north and east elevations of Camp Office.	SW
3	View looking at the north and west elevations of the Camp Office.	SE
4	View looking at the south elevation of the Camp Office.	NW
5	View looking northwest at the Carr Cabin.	NW
6	View looking northeast at the Kirkwood Shed.	NE
7	View looking northwest at 312 Kirkwood Road.	NW
8	View looking east at the concrete block springhouse.	E
9	View looking at the #34 Caboose, adjacent to the Stroup House	NW
10	View looking at the north and east elevations of the Stroup House.	SW
11	View looking at the south and west elevations of the Stroup House.	NE
12	View looking northwest at the Bath House.	NW
13	View looking north at the Swinging Bridge.	N
14	View looking south at the Ark.	S
15	View looking at the south and west elevations of Bob's Depot.	N
16	View looking northwest at a modern utility shed.	NW
17	Looking at the west and south elevations of the Pony Barn.	NE
18	Looking at the north and east elevations of the Pony Barn.	SW
19	View looking northeast at a modern shed.	NE
20	View of the north and west elevations of the Meadowside Cabin .	SE
21	View of the north and east elevations of the Meadowside Cabin,	SW
22	View looking southeast at the Stone Bridge.	SE
23	View looking northeast at the Boat House.	NE
24	View looking at the south and east elevations of the Carriage House.	NW
25	View looking south at the Carriage House.	S
26	View looking north at the Sap House.	N
27	View looking northeast at the Sugar Shack.	NE
28	View looking north at The Coop.	N
29	View looking at the north and west elevations of The Coop.	SE
30	View looking southeast at the Recreational Structure.	SE



**Location Map** (Item 34)

See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.





# Site Plan (Item 35)

Key # \_\_\_\_\_  
 ER# 2013-8131-089

See page 11 of the Instructions for more information regarding the floor plan. Provide a floor plan for the primary buildings, showing all additions. Label rooms and note important features. Note the date of additions. Include a North arrow and a scale bar (note if scale is approximate) or indicate width/depth dimensions. This sheet may be used to sketch a floor plan or another map/plan may be substituted.

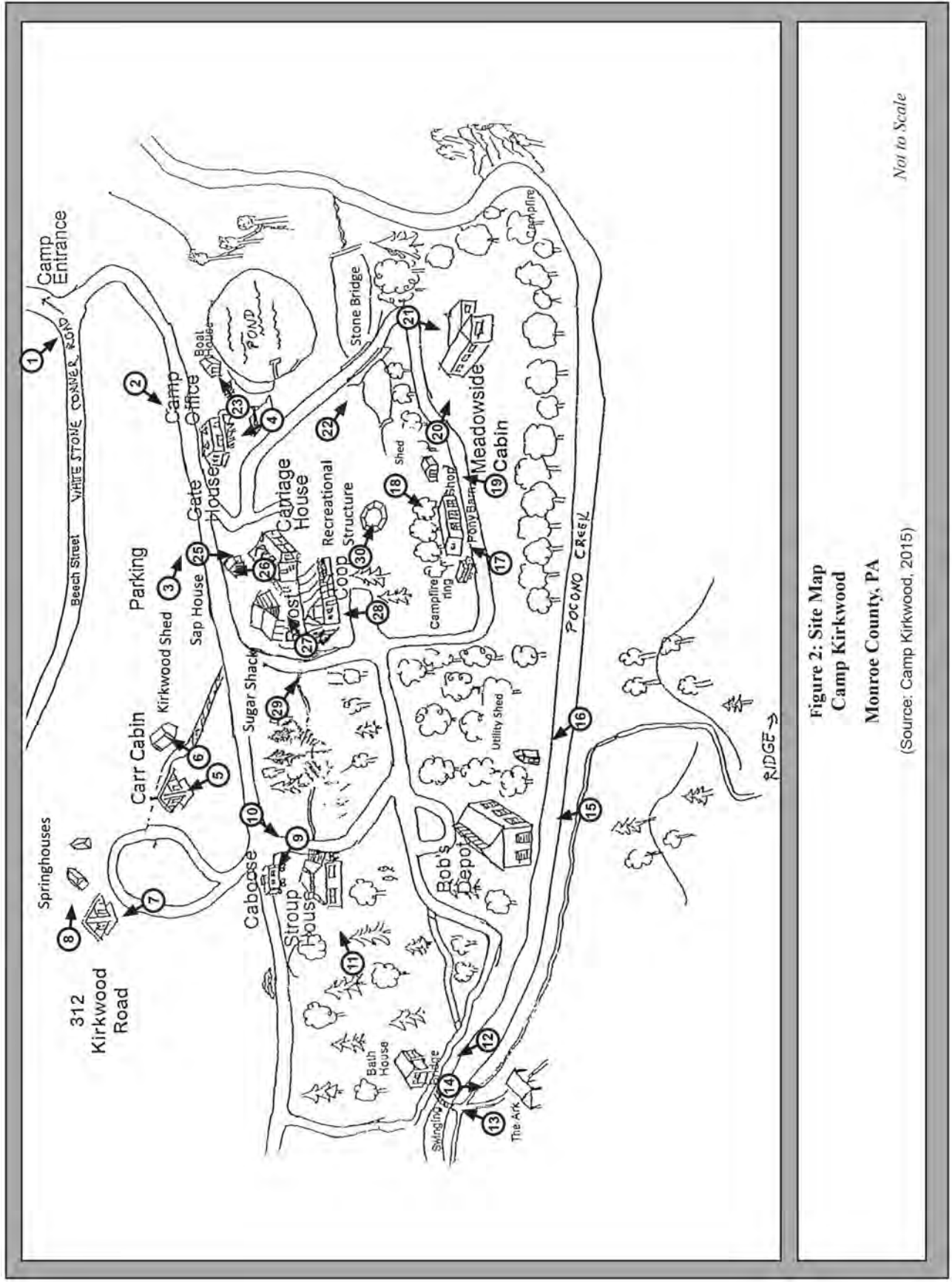
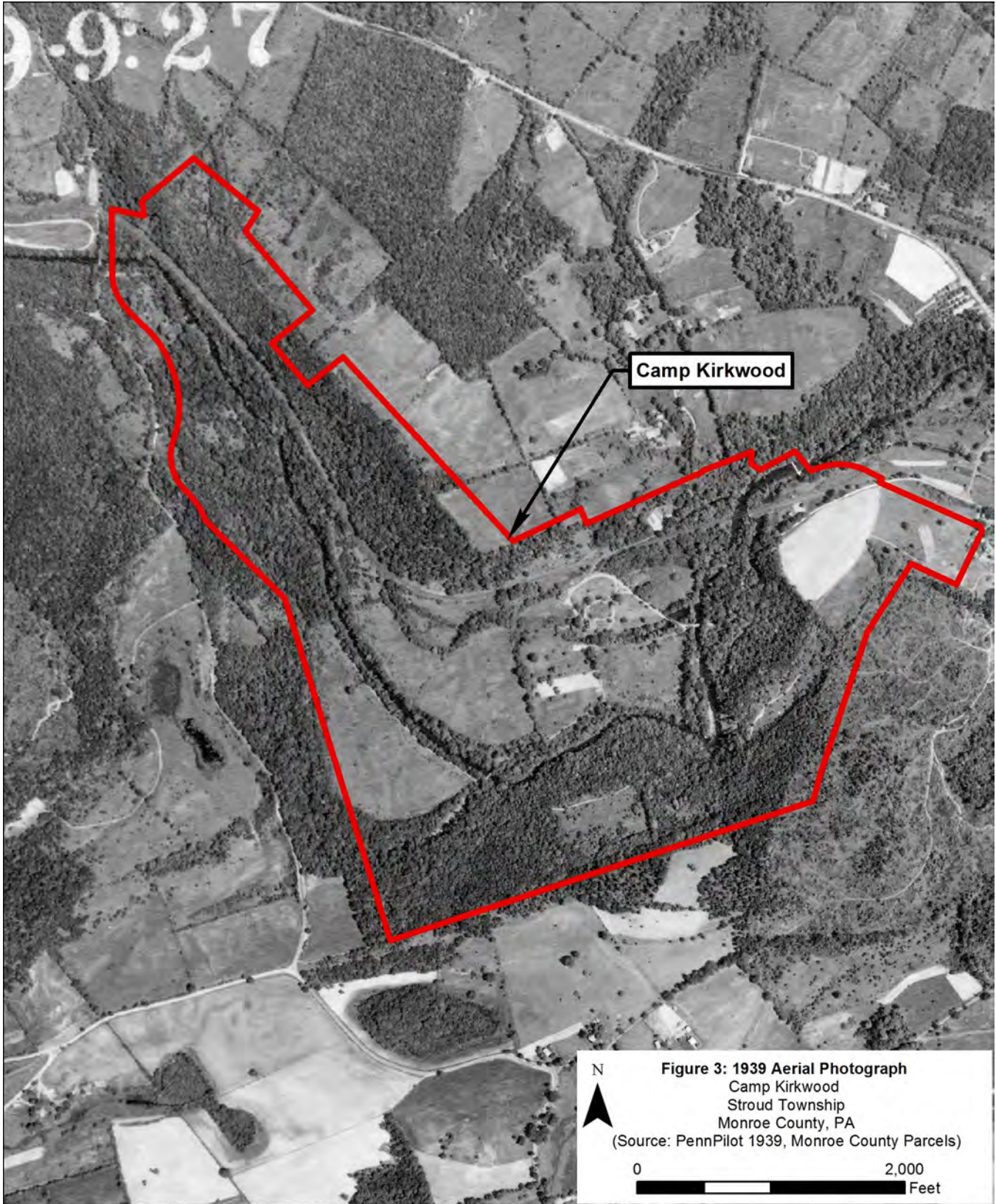


Figure 2: Site Map  
 Camp Kirkwood  
 Monroe County, PA

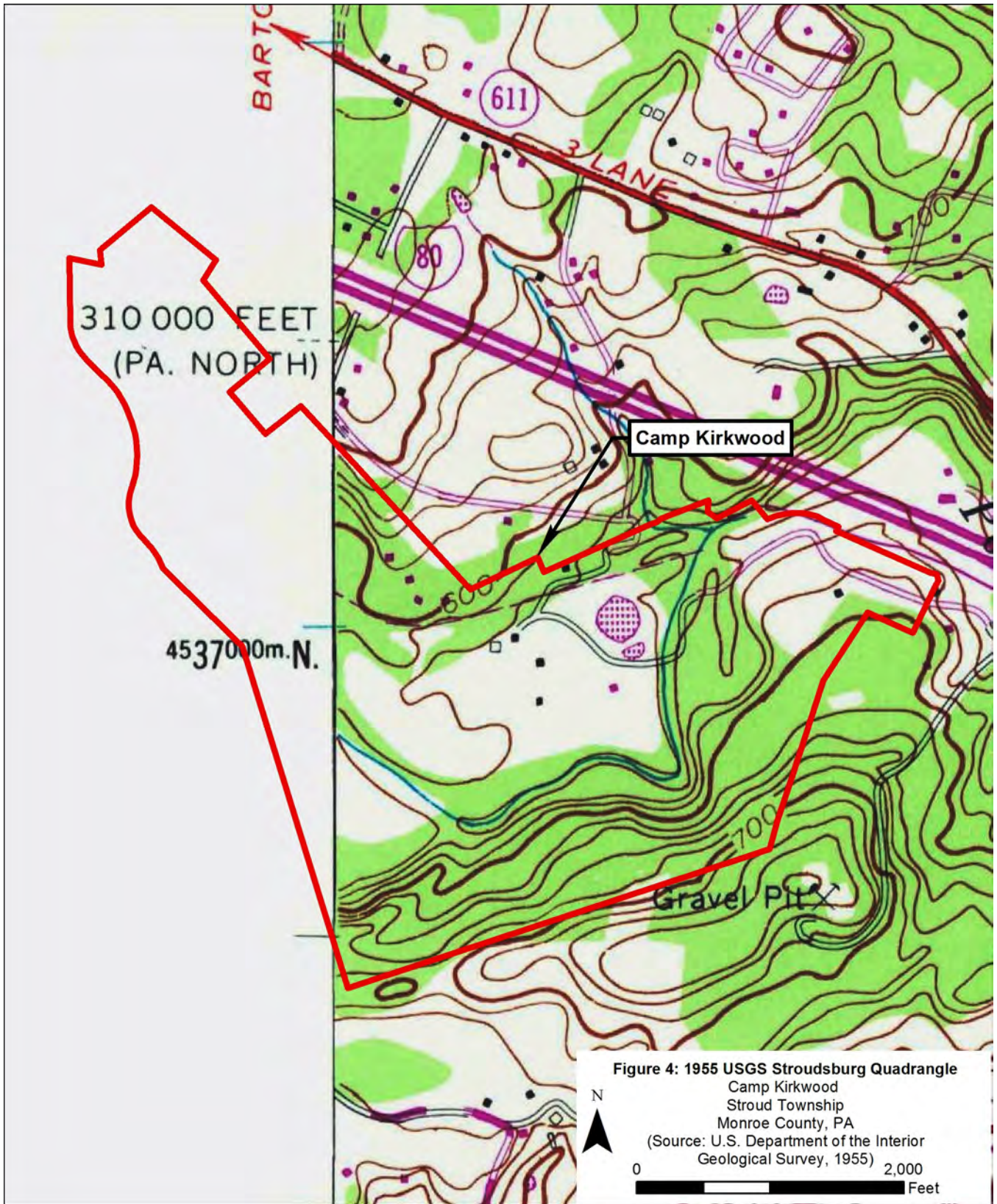
Not to Scale

(Source: Camp Kirkwood, 2015)









**Figure 4: 1955 USGS Stroudsburg Quadrangle**  
Camp Kirkwood  
Stroud Township  
Monroe County, PA  
(Source: U.S. Department of the Interior  
Geological Survey, 1955) 2,000  
Feet

\* Adjacent USGS Map not available.







## Physical Description and Integrity (Item 38)

Provide a current description of the overall setting, landscape, and resources of the property. See page 13 of the Instructions for detailed directions. Continue on additional sheets as needed. Suggested outline for organizing this section:

- Introduction [summarize the property, stating type(s) of resource(s) and function(s)]
- Setting [describe geographic location, streetscapes, natural/man-made landscape features, signage, etc.]
- Exterior materials, style, and features [describe the exterior of main buildings/resources]
- Interior materials, style, and features [describe the interior of main buildings/resources]
- Outbuildings/Landscape [describe briefly additional outbuildings/landscape features found on property, substitute Building Complex Form if preferred; See Instructions, page 18]
- Boundaries [explain how/why boundaries chosen, such as historic legal parcel, visual natural features such as tree lines, alley separating modern construction, etc.]
- Integrity [summarize changes to the property and assess how the changes impact its ability to convey significance]

### Setting

Camp Kirkwood is a 292-acre camp, located at 127 Kirkwood Road in Stroud Township, Monroe County, Pennsylvania. It is a cluster of 24 buildings and structures located along the wooded and rocky hills and floodplain surrounding the Pocono Creek. Of the 24 buildings and structures that are currently part of the camp, there are four buildings/structures constructed prior to the founding of the camp in 1960. These buildings, The Coop/The Roost, the Carriage House, and the Pony Barn, along with a stone bridge date to when the property operated as a farm. The former right-of-way of the Wilkes-Barre and Eastern Railroad goes through the camp property.

**Camp Entrance.** The entrance to Camp Kirkwood is located on Kirkwood Road, just south of its intersection with Beech Street (**See Photograph 1**). Cobblestone columns sit on either side of this entrance. Each column is topped with a steel rimmed wooden wagon wheel.

**Gate House/Camp Office.** The Gate House at Camp Kirkwood currently functions as the camp office and is located at the northeast corner of the property. It is a one-and-a-half-story, five-bay, mid-to-late-twentieth-century faux-log building (**See Photographs 2 and 3**). It has a cobblestone foundation, log exterior, and an asphalt shingled gambrel roof, which features wide overhanging eaves. Two interior chimneys are present; the first is located along the ridgeline, with the second located on the south sloping gambrel. The fenestration features primarily one-over-one, double-hung wood sash windows, but does include a paired, one-over-one window on the façade, and two, three-light windows on the west elevation. A shed-roof front porch, supported by log posts, is located along the façade. This porch covers a board floor, which is sitting on low stone piers, and allows access to two replacement doors. A third modern door is located along the façade just to the west of this porch. A fourth modern door allows access from the west elevation. Modern skylights are located on the lower slope of both the north and south elevations of the gambrel roof.

A large wood deck, encircled by a square spindle balustrade, is located off the south elevation (**See Photograph 4**). Accessed by way of the west elevation, this wooden deck is supported by concrete block piers, and allows a fifth access point to the Gate House through two sets of sliding glass doors with metal frames. An open-end concrete block garage is connected to the south elevation. A concrete patio, encircled by a four board, horizontal railing is located on top of this garage and connects to the wooden deck to achieve a full-width deck along the south elevation.

**The Carr Cabin.** The Carr Cabin is a one-story, three-bay, late twentieth-century frame cabin (**See Photograph 5**). This frame cabin has a concrete slab foundation, horizontal board siding, and asphalt shingled hipped roof. The fenestration includes single, paired, and ribbon, single-pane glass, synthetic frame windows. Both the paired and ribbon windows are located along the façade. A gable-roof portico,

supported by square wood posts, covers the front entrance. This portico sits atop a wood deck that is supported by low wood posts, and leads to a door with a single-pane glass window.

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**Kirkwood Shed.** The c. 1990 Kirkwood Shed is a one-story, one-bay, open-end frame shed (See **Photograph 6**). It has a particle-board exterior and a side-gabled roof that is sheathed with asphalt. It is currently being used for lumber storage.

**312 Kirkwood Road Building #4.** The lodge at 312 Kirkwood Road is a one-and-a-half-story, three-bay, c. 1970 A-frame style building (See **Photograph 7**). It has a poured concrete foundation, vertical board exterior, and an uneven, asphalt shingled, front-gabled roof that runs all the way to the ground. A major feature of this building is the large, integral stone chimney that is located along the ridgeline. The fenestration includes plate glass windows along the façade. A cathedral ceiling covers the poured concrete porch, which prominently features an exterior stone fireplace. On both sides of this fireplace is a wooden door with a nine-light window. This building appears to be abandoned, and currently has a tree lying on its roof.

**Spring houses.** Two late twentieth-century springhouses are found at Camp Kirkwood. Both are located behind the lodge in the northwest corner of the camp. Each has a concrete-block foundation, plywood and concrete-block exterior, and asphalt shingled front-gabled roof (See **Photograph 8**). Each is equipped with steel bulkhead cellar door entrances along the gabled end.

**Caboose.** The #34 red caboose located at Camp Kirkwood was previously owned, and used, by the Reading Railroad (See **Photograph 9**). It was donated to the camp in 1999, and has since been sitting at its current site in the northwest corner of the camp. This particular site, just above the Stroup House, lies along the rail bed used by the Wilkes-Barre and Eastern Railroad. The caboose is currently being used as a cabin. It has a riveted metal exterior, and the fenestration includes fixed, one-over-one, and single-pane glass windows. Wooden steps and railing lead to a wood deck along the south elevation. This deck is supported by square wooden posts, and leads to the main entrance along the west elevation. A second entrance is located on the east elevation and is accessed by wooden steps and railing that is braced upon concrete blocks.

**Stroup House.** The Stroup House is a two-story, two-bay, c. 1995 front-gabled building, which has been equipped with multiple shed roof additions (See **Photographs 10 and 11**). This frame building has vertical board siding exterior, a raised foundation that is supported by wood and concrete poles and an asphalt shingled front-gable roof. Asphalt shingle shed-roof additions adorn both the north and south elevations of the central structure. These additions are covered with horizontal German siding. The fenestration includes one-over-one, double-hung synthetic sash, single-pane, and paired, modern sliding windows. A shed-roof porch, supported by square wooden posts, is located along the façade and prominently features a large, exterior brick chimney. The main entrances are located on both sides of this chimney. This raised porch is accessed by wooden steps and railings, as well as a handicap ramp.

**Bath House.** The Bath House is located on the east side of the Swinging Bridge. It is a one-story, two-bay, late twentieth century frame building (See **Photograph 12**). It has a concrete foundation, wide, horizontal board siding and stone exterior, and a front-gabled, asphalt shingle roof. Separate entrances for the men's and women's portion of the bath house are located on the west elevation. Each section does have a second entrance that is accessed by separate wood walkways, located on the south elevation for the men, and the north elevation for the women.

**Swinging Bridge.** Located on the west edge of the property, the c. 1985 Swinging Bridge is one of the most picturesque structures of Camp Kirkwood. Crossing the Pocono Creek from east to west, the Swinging Bridge is a wire suspension bridge with a floor that is composed of wood slats (See **Photograph 13**).

Round steel posts are used to support the bridge on both sides. While the east side of the bridge is anchored in poured concrete, the west side of the bridge is simply grounded to the river bank itself.

Key # _____
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**The Ark.** The Ark is located on the west side of the Swinging Bridge. It is a one-story, five-bay, late twentieth-century frame structure (**See Photograph 14**). Built with open sides, the asphalt shingled gable roof is supported by square wooden posts, which sit on a concrete pad foundation. Horizontal vinyl siding covers both of the gable ends. The Ark currently functions as a covered picnic area.

**Bob's Depot (Maintenance Building).** Bob's Depot is a two-story, two-bay, late-twentieth-century frame building (**See Photograph 15**). It has a concrete foundation, vertical, particle-board siding, and an un-even gable roof with asphalt shingles. Clearstory ribbon windows are located on the east elevation of the roof. Two roll-up garage doors are positioned within the gable end, while another four are evenly spaced along the east elevation. A single, aluminum door is centrally located along the east elevation between these four roll-up garage doors.

**Utility Shed.** The utility shed is a one-story, one-bay, late twentieth-century frame building that sits along the southern edge of the camp (**See Photograph 16**). It has vertical particle-board siding, and a front-gabled asphalt shingle roof. A modern, raised panel, aluminum door is located within the gabled end.

**The Pony Barn.** The Pony Barn is one of the four structures that date to when this property was a farmstead in the early twentieth-century. It is a one-and-a-half-story, seven-bay, early-to-mid-twentieth-century frame building (**See Photograph 17**). It has a concrete-block foundation, horizontal board siding, and a side-gabled asphalt shingle roof. One of the distinguishing features of this building is the exposed rafter tails that run the length of both sides of the roof. The fenestration includes one-over-one, two-over-two, and four-over-four, double-hung windows with wood or aluminum sash. Two roll-up garage doors, a double-leaf wood door, and a metal door, which functions as the main entrance, are located along the façade. An exterior concrete-block chimney is located along the east elevation. The gabled roof extends past the end of the building's north elevation, which creates a partial-length open porch that is supported by square wooden posts (**See Photograph 18**).

**Shed.** The shed is located just east of the pony barn on the southern edge of the property. It is a one-bay, one-story, late twentieth-century aluminum shed (**See Photograph 19**). It has a wood base that sits atop concrete blocks, and a front-gabled aluminum roof. Double-leaf aluminum doors are centrally located on the west elevation.

**Meadowside Cabin.** The Meadowside Cabin is a one-and-a-half-story, four-bay, late twentieth-century frame building with an ell to the north. It has a concrete foundation, wide, horizontal board siding, and an asphalt shingled side-gable roof (**See Photograph 20**). The fenestration includes both paired and single, one-over-one, double-hung windows with aluminum sash, along with a tri-partite picture window on its west elevation. The main entrance, located on the north elevation, is an aluminum door with a nine-light window, which is accessed by a concrete walkway. The side entrance is also located on the north elevation, but accesses the north ell. This entrance is covered with a bracketed hood and accessed by concrete steps. A third entrance is located on the south end of the east elevation. This is an aluminum door with semi-circle fanlight that is accessed by a concrete patio off the southwest corner of the cabin. Two large, exterior, cobblestone chimneys adorn the Meadowside Cabin (**See Photograph 21**). The first chimney is centered along the east elevation of the main structure. The second is located along the east elevation of the north ell. Steel cellar doors are centrally located along the west elevation.

**Stone Bridge.** The Stone Bridge is an early twentieth-century cobblestone bridge, which was built to cross a man-made pond (**See Photograph 22**). Located on the eastern edge of the camp, just south of the pond, this

bridge allows access to the southern half of the camp, and maintains the structural integrity to accommodate light automobile traffic currently. A single, small arch, supported by cobblestone lintels, is located on the south end of the bridge.

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**The Boat House.** The boat house is a one-story, two-bay, late twentieth-century frame building (See **Photograph 23**). It has a concrete pad foundation, wide, horizontal board siding, and a front-gabled asphalt shingle roof. Exposed rafter tails run along both the east and west elevations. A distinguishing feature of the Boat House is the gable end exposed brackets along the south elevation. The corners of the south elevation are also adorned with turned wooden posts. A wood door is centrally located along the south elevation and is accessed by a small stone patio.

An open stone picnic area is located off of the west elevation of the Boat House. This area is equipped with a large stone fireplace and grill. A sand volleyball court is located further southwest, just beyond the picnic area.

**The Carriage House.** The Carriage House is a one-and-a-half-story, five-bay, early twentieth-century building with Craftsman style elements including the exposed rafter tails and extended brackets on the dormers and along the gable ends (See **Photographs 24 and 25**). The dormers and upper gable ends are also sheathed with patterned shingles, and the porch is supported with cobblestone piers. Another distinctive feature of this building is its bellcast roofline (See **Photograph 25**). This frame building has a concrete foundation, wide, horizontal beaded-board siding and patterned wood shingle exterior, and a side-gabled asphalt shingle roof. The wide eaves of this building are supported by brackets within both gabled ends. The fenestration includes single-pane, six-light, and six-over-one and one-over-one, double-hung windows with wood sash, though some have since been replaced with modern one-over-one, double-hung windows with vinyl sash. The east sloping gable is extended to create a full-width covered porch. This porch is supported by five square wood posts that sit atop low stone piers. Two modern replacement doors are located under this porch. A small wood deck, with square spindle balustrade, is located off the northwest corner of the building. It is supported by square wooden posts, which sit atop concrete piers, and leads to a rear entrance. Two other wood doors with six-light windows are located along the north side of the west elevation.

The three matching, asphalt shingle, gable roof dormers along both the east and west sloping gables are a distinguishing feature of this building. They are sided with patterned wood shingles and have exposed rafter tails. In a similar fashion to the design of the rest of the building, these dormers also have wide eaves that are supported by brackets within the gabled ends. They are equipped with paired, six-over-one, double-hung windows with wood sash, though the windows in the west elevation's middle dormer have been replaced with two, one-over-one, double-hung windows with vinyl sash (See **Photograph 25**).

**The Sap House.** The Sap House is a one-story, one-bay, mid-to-late-twentieth-century frame shed that has been built into the bank just north of the Carriage House. It has a concrete foundation, plywood and wood shingle exterior, and an asphalt shingled, front-gabled roof with exposed rafter tails (See **Photograph 26**). Double-leaf wood doors are centrally located along the south elevation.

**The Sugar Shack.** The c. 1985 Sugar Shack is a one-story, one-bay log building, located just west of the Carriage House. This building was constructed using round logs and is supported by short concrete piers (See **Photograph 27**). The peak of the side gabled roof is covered with asphalt shingles, while the rest is sheathed with corrugated metal. Within the break for these two separate roofing materials is a clearstory along the ridgeline. Also located along the ridgeline is an interior metal chimney. Round log purlins extend beyond the edge of the building and help to support the roof. Large, double-leaf wood doors are centrally located along the west elevation and are covered by a shed-roof porch. This board and batten porch is supported by four square wood posts that sit on low concrete piers.



**The Coop/The Roost.** The Coop/The Roost is a one-and-a-half-story, three-bay, early twentieth-century frame building, with a ten-bay side (**See Photograph 28**). It has a concrete-block foundation, horizontal board exterior, and a front-gabled asphalt shingle roof. The fenestration includes, single-pane, six-over-six, double-hung sash, modern, one-over-one, double hung sash, and a tripartite picture window. The main entrance is an aluminum door with a nine-light window, which is covered by a bracketed angular hood, located on the east elevation. Wooden steps scale the west elevation and allow access to the second story entrance (**See Photograph 29**). This raised-panel wood door has a four-light window that allows access to the interior of the large, matching gable roof dormers located on the north and south elevations of the west end of the building. These asphalt shingled front-gabled dormers are both covered with horizontal board siding. The south facing dormer has a tri-partite picture window, while the north facing dormer has four single-pane glass windows. A double-leaf metal door is located directly below the steps on the west elevation. An interior central chimney is located along the ridgeline.

A wide, partial-width, and partially enclosed porch is located on the south elevation. This shed-roof porch is covered with vertical board siding and supported by square wooden posts, which sit atop a concrete pad. Mesh wire screens and wood latticework have enclosed the east end of the porch. Multiple picnic tables are located under this porch which add extra outdoor seating and enhance its current use as the dining hall of Camp Kirkwood.

**Recreational Structure.** The c. 2000 Recreational Structure is an open, wooden enclosure that Camp Kirkwood uses for both ministry and games. It is centrally located within the camp, just south of the Sugar Shack. It has a wood foundation, wood frame, and horizontal board siding, along with a board floor (**See Photograph 30**).

### **Integrity**

The property of Camp Kirkwood was originally a farmstead owned by Carl and Mary Alice Kohl, in the mid-twentieth-century. Three of the current buildings, The Coop/The Roost, the Carriage House, and the Pony Barn, along with the stone bridge date to this period. All of the buildings have been re-purposed for camp use. Often this has meant changes to the exterior as well as to the interior of these buildings. The c. 1925 bridge maintains its structural and functional integrity as it has had no major changes. While these four structures date to the farmstead period of this property, they have lost their integrity of association as they no longer function as agricultural buildings/structures. Furthermore, the various and significant changes in materials have greatly compromised the integrity of materials, workmanship, design, association, and feeling as early twentieth-century agricultural buildings. The property lacks overall integrity to its early-to-mid twentieth-century period due to a loss of original buildings, including the farmhouse, and a loss of integrity of the remaining buildings.

Camp Kirkwood contains many other buildings that date to its first use as a camp soon after 1960. Most of these buildings were built in the late-twentieth-century expressly for use in this camp setting and maintain much of their structural and functional integrity. However, the Sugar Shack and the Swinging Bridge are not the typical structures found in a religious camp. They have had few, if any changes, and maintain their integrity of design, materials, feeling, and association. Camp Kirkwood maintains its integrity of setting as none of the major buildings have been moved. A majority of the buildings are common, unexceptional, late twentieth-century buildings. Overall, the camp lacks a coherent design plan or architectural theme. Likewise, each of the buildings appears to have been built without regard to the design of previous buildings on the property. For these reasons, Camp Kirkwood does not maintain sufficient integrity of design, materials, feeling, and association, due to multiple modifications and a lack of cohesive architectural design. Camp Kirkwood is recommended not eligible for the National Register of Historic Places.

## History and Significance (Item 39)

Provide an overview of the history of the property and its various resources. Do not substitute deeds, chapters from local history books, or newspaper articles. See page 14 of the Instructions for detailed directions. Continue on additional sheets as needed.

Suggested outline for organizing this section:

- History [Summarize the evolution of the property from origin to present]
- Significance [Explain why the property is important]
- Context and Comparisons [Describe briefly similar properties in the area, and explain how this property compares]

## Regional Tourism and Camping

Regional tourism and the business of attracting summer visitors to the Stroudsburg area spread out from the Delaware Water Gap in the late nineteenth century. Among the attractions in Stroud Township was Highland Dell and Highland Cottage (History 1976: 99). Outdoor recreation in the early twentieth century included pleasant Sunday summer outings, which took city residents over Chipperfield Drive in Stroud Township (History 1976: 129). Indoor recreation for Stroud Township took the form of pool tables and a bowling alley at Charles and J.F. Foulke's establishment (History 1976: 128).

The first children's camp in the Pocono region was the Poconos Oneka, which opened in 1907 as a girls only camp (Squeri 2002: 75). Dan Beard, a founder of the Boys Scouts of America, established an exclusive Pocono camp. Two of Teddy Roosevelt's sons attended the camp (Squeri 2002: 76). The Pine Tree Camp for girls was established in 1914 by a Philadelphia school principal. One of the highlights of its early history was the fact that 40 girls from the camp hiked from Cresco to East Stroudsburg, staying overnight at the Normal School (Squeri 2002: 76).

The Poconos have housed camps for over a century, and they have varied in price and catered to different ethnic groups, reflecting the diverse American population. Rabbi David Davidson ran a unique boys' camp that met the needs of both parents and children. The parents of its boys stayed at the nearby Forest Park resort, while they enjoyed the best of both worlds; vacationing without the children, yet having them nearby (Squeri 2002: 222). Lutheran camps in the Poconos began in 1921 with Camp Miller for boys, and Camp Hagan for girls was established 15 years later. The Evangelical Lutheran Ministerium of Philadelphia established a camp at Shawnee-on-Delaware in 1946 (Camp Grounds/Camps File at Monroe County Historical Society).

In the early twenty-first century the religious camps in the Poconos region appear to be non-denominational in character. For example, there is the Pocono Plateau Camp whose advertising states that it is a Christian camp with a retreat center that can be reserved by various groups (Pocono Plateau web page). An advertisement for the Spruce Lake Retreat states that it is a Bible-based summer camp (Spruce Lake Retreat web page). The Mt. Gilead Camp is a girls' summer camp which boasts that it is Christ centered since 1953 (Mt. Gilead Camp web page).

## Resource History

The first deeds for the establishment of the camp property date to 1960. In that year, the Tanite Company transferred 15.5 acres to the Trustees of the Presbytery of Philadelphia for \$5,166.00 (Monroe County Deed Book 264: 323). Also in 1960, Carl D. and Mary Alice Kohl sold 138.74 acres to the Trustees of the Presbytery of Philadelphia for \$80,000.00 (Monroe County Deed Book 265: 378). That deed noted the property included the right-of-way of the abandoned Wilkes-Barre & Eastern Railroad, Pocono Creek, the Tanite Company, and the public road leading from Lackawanna Trail at Wesley Chapel to the Monroe-Carbon Trail.

The Presbytery of Philadelphia was founded in 1717 and is the oldest Presbyterian corporate entity in the United States. The Presbytery at that time encompassed all of New Jersey and all of Pennsylvania, north of the Great Valley. The Lehigh Presbytery was chartered in 1871 and was composed of seven eastern counties of Pennsylvania, including Monroe County.

Key # _____
ER# 2013-8131-089

Established in 1960, Camp Kirkwood was created when the Presbytery of Philadelphia purchased a family farm in Stroud Township, just east of Stroudsburg. The 292-acre property was converted into a residential youth camp, retreat and conference center. The camp provides for diverse activities such as games on its large meadows, hiking on trails winding through laurel, hemlock and pine, and a large pond for boating and swimming. In 1952 Camp Brainerd was established on a 34-acre site by the Lehigh Presbytery about five miles away. In 2014 it was decided to sell Camp Brainerd and merge their camping ministry with Camp Kirkwood to form Camp Kirkwood-Brainerd. The first summer as a joint ministry was in 2015 (Camp Kirkwood Web page).

### **National Register of Historic Places Evaluation**

The Camp Kirkwood property was evaluated according to the criteria set forth in *National Register Bulletin 15: "How to Apply the National Register for Evaluation."* The property does not appear to be associated with any important historic events or trends under Criterion A. Although recreational tourism and camping was historically important to the Stroudsburg area, Camp Kirkwood is a late example of a church camp in the region. As evaluated under Criterion B, the Camp Kirkwood property is not known to be associated with any individuals of local, state, or national significance. As evaluated under Criterion C, the Camp Kirkwood property is not eligible for the National Register of Historic Places. Although the Carriage House on the Kirkwood property retains some good detailing from the Craftsman style, it, like most of the structures from the property's agricultural era, has lost integrity. Generally, the buildings of the Camp lack distinction in their design, and overall the Camp appears to be a hodgepodge of buildings, lacking a cohesiveness of design and layout. Archaeological investigations have not been conducted on the property; therefore, the resource's eligibility under Criterion D (potential to yield information important to history or prehistory) cannot be assessed at this time. Camp Kirkwood is recommended not eligible for the National Register of Historic Places.

### **Bibliography**

Camp Grounds/Camps File, Monroe County Historical Society.

*History of Monroe County, 1725-1976.* East Stroudsburg, Pennsylvania: Pocono Hospital Auxiliary, 1976.

Kirkwood Camp. <http://www.kirkwoodcamp.prg/>. Accessed May 2016.

McAlester, Virginia and Lee McAlester. *A Field Guide To American Houses.* New York: Alfred A. Knopf, 1988.

Monroe County Deed Book 264:3 23; 265:378.

Squeri, Lawrence. *Better in the Poconos: The Story of Pennsylvania's Vacationland.* University Park, PA: The Pennsylvania State University Press, 2002.





Photograph 1: View of the entrance gate to Camp Kirkwood looking southeast.



Photograph 2: View looking southwest at the north and east elevations of the Camp Office.





Photograph 3: View looking southeast at the north and west elevations of the Camp Office.



Photograph 4: View looking northwest at the south elevation of the Camp Office.





Photograph 5: View looking northwest at the Carr Cabin.



Photograph 6: View looking northeast at the Kirkwood Shed.





Photograph 7: View looking northwest at 312 Kirkwood Road.



Photograph 8: View looking east at the concrete block springhouse.





Photograph 9: View looking northwest at the #34 caboose, adjacent to the Stroup House.



Photograph 10: North and east elevations of the Stroup House.





Photograph 11: South and west elevations of the Stroup House.



Photograph 12: View looking northwest at the Bath House.





Photograph 13: Looking north at the Swinging Bridge.



Photograph 14: View looking south at The Ark.





Photograph 15: South and east elevations of Bob's Depot (Maintenance Building).



Photograph 16: View looking northwest at a modern utility shed.





Photograph 17: West and south elevations of the Pony Barn.



Photograph 18: North and east elevations of the Pony Barn.





Photograph 19: View looking northeast at a modern shed.



Photograph 20: View of north and west elevations of the Meadowside Cabin.





Photograph 21: North and east elevations of the Meadowside Cabin.



Photograph 22: View looking southeast at the Stone Bridge.





Photograph 23: View looking northeast at the Boat House.



Photograph 24: View looking at the south and east elevations of the Carriage House.





Photograph 25: View looking south at the Carriage House. Note the Craftsman style elements, including patterned shingles, exposed rafters and brackets.



Photograph 26: View looking north at the Sap House.





Photograph 27: View looking northeast at The Sugar Shack.



Photograph 28: View looking north at The Coop.





Photograph 29: North and west elevations of The Coop.



Photograph 30: View looking southeast at the Recreational Structure.

# Historic Resource Survey Form

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION  
 Pennsylvania State Historic Preservation Office (PA SHPO)

Key # _____
ER# <u>2013-8131-089</u>

## Name, Location and Ownership *(Items 1-6; see Instructions, page 4)*

HISTORIC NAME: Kautz-Kintz House  
 CURRENT/Common NAME: 1228 Dreher Avenue  
 STREET ADDRESS: 1228 Dreher Avenue, Stroudsburg, PA ZIP 18360  
 LOCATION: North side of Dreher Avenue approximately 550 feet southwest of Interstate 80  
 MUNICIPALITY: Stroudsburg COUNTY: Monroe  
 TAX PARCEL #/YEAR: 18730009165460 USGS QUAD: Stroudsburg, PA  
 OWNERSHIP  Private  
 Public/Local  Public/County  Public/State  Public/Federal  
 OWNER NAME/ADDRESS: Joseph J. Peters III and Janette Peters/1228 Dreher Avenue, Stroudsburg, PA 18360  
 CATEGORY OF PROPERTY  Building  Site  Structure  Object  District  
 TOTAL NUMBER OF RESOURCES: 3

## Function *(Items 7-8; see Instructions, pages 4-6)*

Historic Function	Subcategory	Particular Type
<u>Domestic</u>	<u>single-dwelling</u>	<u>house</u>
<u>Domestic</u>	<u>secondary structure</u>	<u>garage</u>
<u>Domestic</u>	<u>secondary structure</u>	<u>wood shed</u>
_____	_____	_____

Current Function	Subcategory	Particular Type
<u>Domestic</u>	<u>single-dwelling</u>	<u>house</u>
<u>Domestic</u>	<u>secondary structure</u>	<u>garage</u>
<u>Domestic</u>	<u>secondary structure</u>	<u>wood shed</u>
_____	_____	_____

## Architectural/Property Information *(Items 9-14; see Instructions, pages 6-7)*

### ARCHITECTURAL CLASSIFICATION

Prairie \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

### EXTERIOR MATERIALS and STRUCTURAL SYSTEM

Foundation	<u>Stone</u>	_____
Walls	<u>Brick</u>	_____
Roof	<u>Asphalt</u>	_____
Other		_____
Structural System	<u>Frame</u>	_____

WIDTH: 3 (# bays) DEPTH: 2 (# rooms) STORIES/HEIGHT: 2.5



**Property Features** (Items 15-17; see Instructions, pages 7-8)

Setting: town neighborhood

**Ancillary Features**

_____	_____	_____
_____	_____	_____
_____	_____	_____

Acreage: 0.4 (round to nearest tenth)

**Historical Information** (Items 18-21; see Instructions, page 8)

Year Construction Began:  Circa Year Completed 1915  Circa

Date of Major Additions, Alterations \_\_\_\_\_  Circa \_\_\_\_\_  Circa \_\_\_\_\_  Circa

Basis for Dating  Documentary  Physical

Explain: A newspaper article at the Monroe County Historical Society noted that the house was completed a year after Evan Kintz and Bertha Kautz were married in 1914.

Cultural/Ethnic Affiliation(s): N/A

Associated Individual(s): Evan Kintz & Bertha Kautz

Associated Event(s): N/A

Architect(s): Unknown

Builder(s): Unknown

**Submission Information** (Items 22-23; see Instructions, page 8)

Previous Survey/Determinations: None

Threats  None  Neglect  Public Development  Private Development  Other

Explain: The property is located within the APE for the SR 0080-17M Reconstruction Project

This submission is related to a  non-profit grant application  business tax incentive  
 NHPA/PA History Code Project Review  other

**Preparer Information** (Items 24-30; see Instructions, page 9)

Name & Title: Jerry Clouse, M.A./Architectural Historian

Date Prepared: 5/20/2016

Project Name: SR 0080-17M Reconstruction Project

Organization/Company: McCormick Taylor, Inc.

Mailing Address: 5 Capital Drive, Suite 400, Harrisburg, Pennsylvania 17110

Phone: 717-540-6040

Email: jaclouse@mccormicktaylor.com

Key # \_\_\_\_\_

ER# 2013-8131-089

**National Register Evaluation** *(Item 31; see Instructions, page 9)*  
(To be completed by Survey Director, Agency Consultant, or for Project Reviews ONLY.)

- Not Eligible (due to  lack of significance and/or  lack of integrity)  
 Eligible Area(s) of Significance \_\_\_\_\_  
Criteria Considerations \_\_\_\_\_ Period of Significance \_\_\_\_\_  
 Contributes to Potential or Eligible District District Name \_\_\_\_\_

**Bibliography** *(Item 32; cite major references consulted. Attach additional page if needed. See Instructions, page 9.)*

See Continuation Sheet 12

**Additional Information**

The following must be submitted with form. Check the appropriate box as each piece is completed and attach to form with paperclip.

- Narrative Sheets—Description/Integrity and History/Significance (See Instructions, pages 13-14)  
 Current Photos (See Instructions, page 10)  
 Photo List (See Instructions, page 11)  
 Site Map (sketch site map on 8.5x11 page; include North arrow, approximate scale; label all resources, street names, and geographic features; show exterior photo locations; See Instructions, page 11)  
 Floor Plan (sketch main building plans on 8.5x11 page; include North arrow, scale bar or length/width dimensions; label rooms; show interior photo locations; See Instructions, page 11)  
 USGS Map (submit original, photocopy, or download from TopoZone.com; See Instructions, page 12)

**Send Completed Form and Additional Information to:**

National Register Program  
Pennsylvania State Preservation Office (PA SHPO)  
Keystone Bldg., 2<sup>nd</sup> Floor  
400 North St.  
Harrisburg, PA 17120-0093



Key # _____
ER# <u>2013-8131-089</u>

### Photo List (Item 33)

See pages 10-11 of the Instructions for more information regarding photos and the photo list. In addition to this photo list, create a photo key for the site plan and floor plans by placing the photo number in the location the photographer was standing on the appropriate plan. Place a small arrow next to the photo number indicating the direction the camera was pointed. Label individual photos on the reverse side or provide a caption underneath digital photos.

Photographer name: Charles Richmond

Date: September 4, 2015

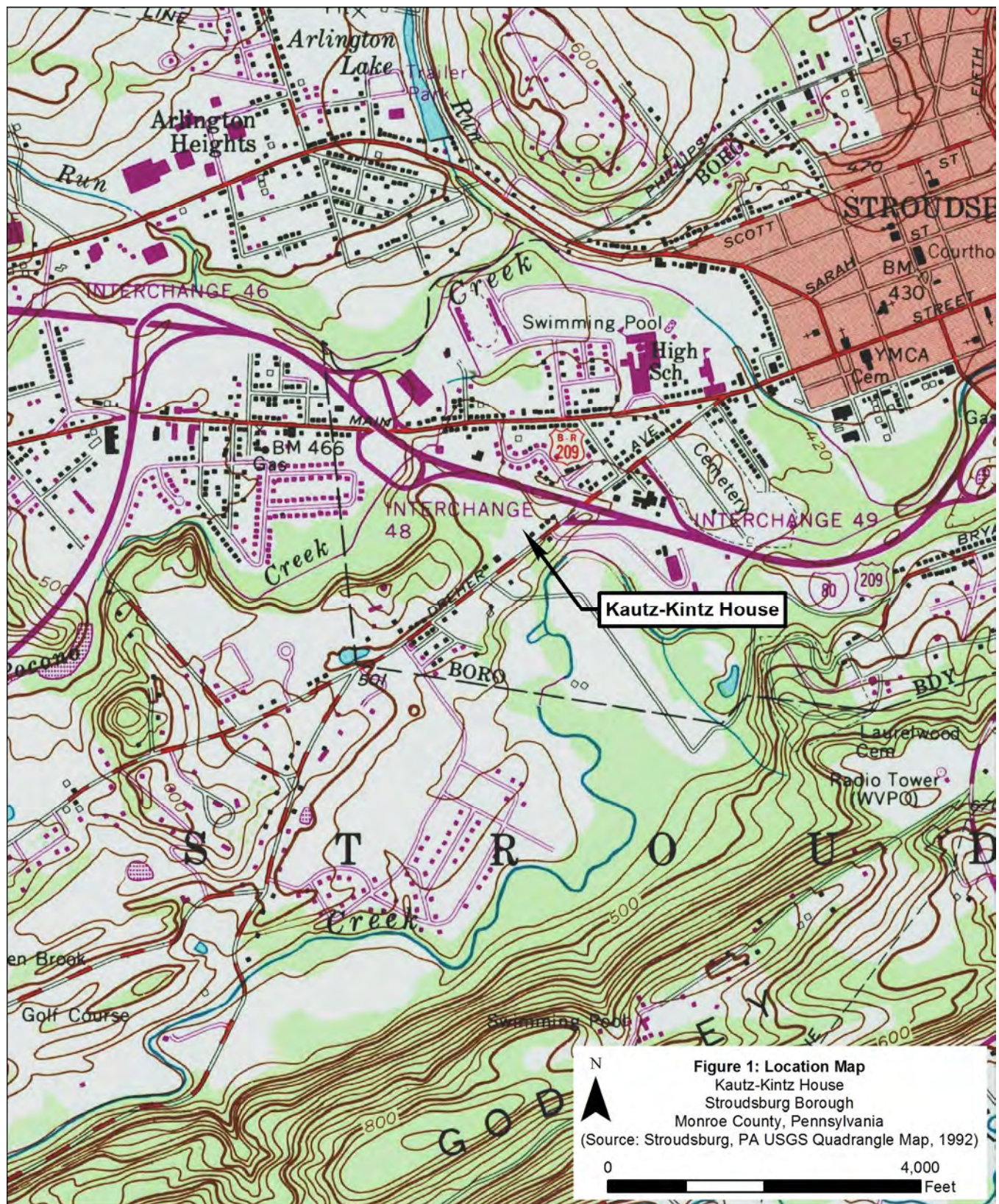
Location Negatives/Electronic Images Stored: McCormick Taylor, Inc. 5 Capital Drive, Harrisburg, Pennsylvania 17110

<b>Photo #</b>	<b>Photo Subject/Description</b>	<b>Camera Facing</b>
1	South and east elevations of the ca. 1915 Kautz-Kintz House.	N
2	North and east elevations of the ca. 1915 Kautz-Kintz House.	NW
3	View of porch and entrance of the Kautz-Kintz House.	NW
4	North and west elevations of the Kautz-Kintz House.	S
5	South and west elevations of the c. 1915 Kautz-Kintz House.	NE
6	View of the cobblestone wall to the front of the house and sidewalk leading to the front door.	NE
7	South and east elevations of the concrete block garage.	N
8	North and west elevations of the concrete block garage.	SW
9	View looking south at the frame wood shed, adjacent to the garage.	SW



## Location Map (Item 34)

See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.





**Site Plan** (Item 35)

See page 11 of the Instructions for more information regarding the floor plan. Provide a floor plan for the primary buildings, showing all additions. Label rooms and note important features. Note the date of additions. Include a North arrow and a scale bar (note if scale is approximate) or indicate width/depth dimensions. This sheet may be used to sketch a floor plan or another map/plan may be substituted.

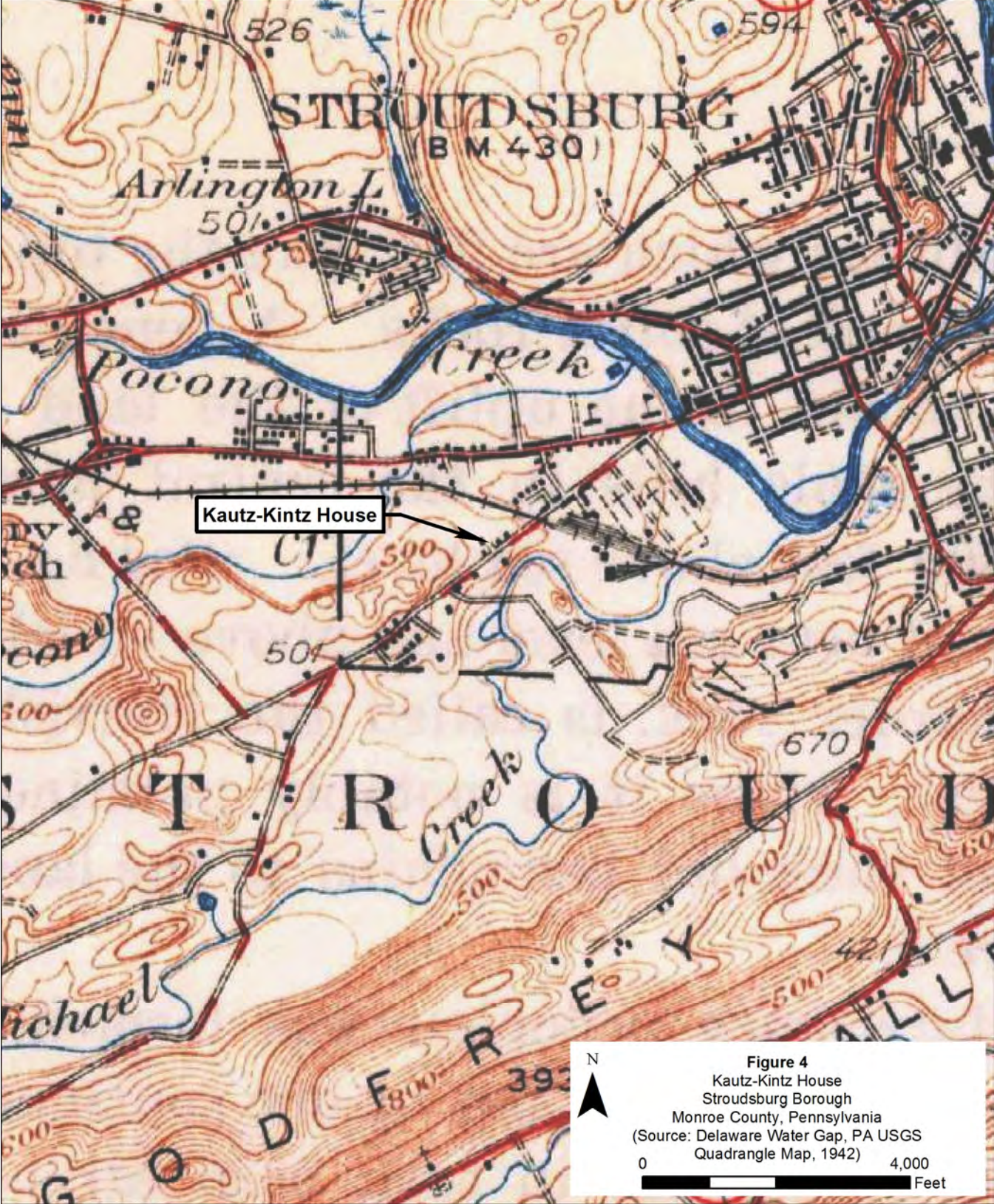


**Figure 2: Site Plan**  
 Kautz-Kintz House  
 Stroudsburg Borough  
 Monroe County, Pennsylvania  
 (Source: Esri, DigitalGlobe, GeoEye)

0 200 Feet







## Physical Description and Integrity (Item 38)

Provide a current description of the overall setting, landscape, and resources of the property. See page 13 of the Instructions for detailed directions. Continue on additional sheets as needed. Suggested outline for organizing this section:

- Introduction [summarize the property, stating type(s) of resource(s) and function(s)]
- Setting [describe geographic location, streetscapes, natural/man-made landscape features, signage, etc.]
- Exterior materials, style, and features [describe the exterior of main buildings/resources]
- Interior materials, style, and features [describe the interior of main buildings/resources]
- Outbuildings/Landscape [describe briefly additional outbuildings/landscape features found on property, substitute Building Complex Form if preferred; See Instructions, page 18]
- Boundaries [explain how/why boundaries chosen, such as historic legal parcel, visual natural features such as tree lines, alley separating modern construction, etc.]
- Integrity [summarize changes to the property and assess how the changes impact its ability to convey significance]

### Setting

The Kautz-Kintz House is sited on a slight embankment overlooking Dreher Avenue. It is set on a landscaped lot surrounded with mature trees and shrubs in Stroudsburg Borough, near the Stroud Township line. Interstate 80 is located approximately 500 feet north of the house. The neighborhood along Dreher Avenue consists of residential properties dating from the early twentieth century to the late twentieth century. A modern residential neighborhood is immediately west of the Kautz-Kintz House along Anna Court. There is a cobblestone wall to the front of the house which curves in at the center to allow for the steps and sidewalk leading to the front door (**See Photograph 1**). There is a period garage to the rear of the house, and the Hollinshead Cemetery is located immediately east of the lot. The Kautz House and the Cemetery were originally part of a much larger Stroud-Hollinshead tract.

### House

The c. 1915 Kautz-Kintz House is a three-bay, two-and-a-half story brick house resting on a raised, coursed sandstone foundation (**See Photographs 2 and 3**). The house is two bays deep. All elevations of the house are laid in stretcher bond brick. The house exhibits characteristics of the Prairie or American Foursquare style including its square shape and its low-pitched roof with wide, overhanging eaves. In addition, the house illustrates the style's penchant for square porch columns resting on substantial masonry piers (**See Photograph 4**). The house's hipped roof is covered with asphalt shingles and has a corbeled brick chimney along the ridge line. There is a central hipped roof dormer with double casement windows at the attic level. There is a low, gable-roof dormer on the rear elevation (**See Photographs 5 and 6**). It is glazed with a fixed, multi-pane window.

The house's façade is dominated by a full-width, hipped-roof, front porch with an off-center front door (**See photograph 4**). The porch features a wide frieze band and is supported with square Doric columns which rest on brick piers topped with rusticated stone caps. The columns are connected with a balustrade of square spindles and a molded handrail, and a band of latticework extends along the bottom of the cornice creating a bracket effect between the posts. The front door is accentuated with a multi-pane transom and multi-pane sidelights, topped with a wide rusticated stone lintel. A large tripartite, double-hung sash window flanks the door to the west, and a single, double-hung sash window is to the east of the door. Both have multi-panes in the upper sash, but the lower sash are single paned.

The windows throughout the house have multi-paned upper sash and single-pane lower sash. All of the windows have rusticated stone lintels and sills. There is a large tripartite window to the front of the west elevation, similar to the one on the façade. A small, multi-pane window, nearly centrally located along the eastern elevation and between the first and second floors, marks the location of the interior stair.



There is a small, flat-roof, enclosed porch at the northwest corner of the rear elevation (**See Photographs 5 and 6**). It appears to have been reworked in recent years into a larger, modern deck area. The porch has large, vertical plate glass windows, and a plate glass door opens from the west elevation. A multi-pane glass door opens from the second floor onto this porch. A paint line on the wall of the house indicates that a balustrade once encircled the top of the rear porch.

Key # _____
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### **Garage**

A c. 1920 single-bay, one-story, panel-face, concrete block garage stands to the rear of the house (**See Photographs 7 and 8**). The garage features a hipped roof covered with fish-scale slate shingles. There is a modern roll-up garage door on the front, and a single, centrally located door opens from the east elevation.

### **Wood Shed**

A c. 1930 single-bay, one-story, gable-front frame wood shed stands to the rear side of the garage (**See Photograph 9**). The building rests on a low stone foundation and is sheathed with board and batten siding. There is an open, shed-roof addition to the north side of the building.

## History and Significance (Item 39)

Provide an overview of the history of the property and its various resources. Do not substitute deeds, chapters from local history books, or newspaper articles. See page 14 of the Instructions for detailed directions. Continue on additional sheets as needed.

Suggested outline for organizing this section:

- History [Summarize the evolution of the property from origin to present]
- Significance [Explain why the property is important]
- Context and Comparisons [Describe briefly similar properties in the area, and explain how this property compares]

The c. 1915 Kautz-Kintz House likely served as the new home for recently married Bertha Kautz and Evan Kintz in the early twentieth century. Bertha and Evan were married in 1914 and lived in the Kautz farmhouse for a year (Stroud-Hollinshead House at 1303 Dreher Avenue) until this house was completed. Philip and John Kautz had purchased their father Henry's farm in 1891 from their mother and two siblings (Monroe County Deed Book 43: 23; Pocono Record, April 1975). (Henry Kautz had purchased the farm in 1856 from the Hollinshead heirs.) The original farmhouse on the property is located southwest of the Kautz-Kintz House. The 1900 population census for Stroudsburg notes John Kautz, aged 58, as a farmer. Also in the household is his wife Flora, aged 37, and their two daughters Bertha, aged 8, and Eleanor, aged 5. John's brother, Philip, aged 59, also lives in the household.

The 1901 City Directory lists John and Philip Kautz as farmers living on Dreher Avenue near the Stroudsburg limits. John J. Kautz died January 3, 1904 intestate leaving a widow, Flora A. Kautz and two children, Bertha and Eleanor. John Kautz's obituary in the Stroudsburg *Daily Times* noted that he was one of the best known residents of town. It also stated that he was a farmer and an auditor and assessor for Stroud Township. In addition, he had been a member of Stroudsburg town council, the Lutheran Church, Knights of Pythias and the Fort Penn Odd Fellows.

Philip Kautz died March 23, 1905 at his home on Dreher Avenue, aged nearly 66 years, intestate, and unmarried. His share in the Kautz property became vested in Flora Kautz, widow of his brother John. In 1916 Flora Kautz, and Eleanor and Russell Middaugh conveyed their two-thirds interest in the Kautz property (1228 Dreher Avenue) to Bertha J. Kintz (Monroe County Deed Book 76: 609). At that time it was bound by a cobble masonry wall fronting Dreher Avenue and by the "Hollinshead Burying Ground."

The 1920 population census shows Evan Kintz, aged 26, living on Dreher Avenue in Stroud Township. Also in his household is his wife Bertha, aged 26, and their son Jacob, aged 3. Evan is noted as a book keeper for a wholesale business. Evidently living next door or in the same house is Bertha's sister Eleanor Middaugh, aged 26, Eleanor's husband Russell Middaugh, and her mother Flora Kautz, aged 59. Russell was noted as a real estate agent. The 1928 City Directory for Stroudsburg notes Evan S. Kintz as a book keeper living at 1228 Dreher Avenue. The 1930 population census for Stroudsburg puts Evan Kintz, aged 37, at 1228 Dreher Avenue with a home valued at \$6000. Also in his household is his wife Bertha, aged 37, son Jacob, aged 13, daughter Eleanor, aged 7, and mother-in-law, Flora Kautz, aged 68. At that time Evan is listed as a book keeper for a wholesale grocery store.

Evan Kintz died May 5, 1963, and his wife Bertha J. Kintz died April 11, 1987. Her will noted two children Eleanor M. Kintz Regan and Jacob E. Kintz (Monroe County Will Book 102: 841). However, Jacob Kintz died April 9, 1986, pre-deceasing his mother, leaving a widow Martha Kintz. In 1990 Eleanor Kintz Regan, executrix of Bertha Kintz, deeded the property to Martha Kintz (Monroe County Deed Book 1728: 742).

## Integrity

The Kautz-Kintz House appears to retain a high degree of integrity of design, setting, feeling, and materials. The house is clearly recognizable for its Prairie or American Foursquare style elements including its low-pitched roof with wide overhanging eaves and porch with square columns and substantial support piers.



Other original intact features of the property include the cobblestone retaining wall along the front of the property noted in the 1916 deed and the associated panel-faced block, single-bay garage along the side of the house.

Key # _____
ER# 2013-8131-089

### National Register of Historic Places Evaluation

The Kautz-Kintz House was evaluated according to the criteria set forth in *National Register Bulletin 15: "How to Apply the National Register for Evaluation."* The property does not appear to be associated with any important historic events or trends under Criterion A. Although the house is located within an area adjacent to Stroudsburg which became suburbanized in the early twentieth century, this house was not part of a planned development. As evaluated under Criterion B, the Kautz-Kintz House is not known to be associated with any individuals of local, state, or national significance. As evaluated under Criterion C, the Kautz-Kintz House is not eligible for the National Register of Historic Places. The c. 1915 Kautz-Kintz House is a good representative example of the Prairie or American Foursquare style. However, this style was a common and popular choice among home owners of the period across the United States, and the Kautz-Kintz House is not distinctive in its design or layout. Archaeological investigations have not been conducted on the property; therefore, the resource's eligibility under Criterion D (potential to yield information important to history or prehistory) cannot be assessed at this time. The Kautz-Kintz House is recommended not eligible for the National Register of Historic Places.

### Bibliography

*City Directory of Stroudsburg, East Stroudsburg & Delaware Water Gap.* Stroudsburg, Pennsylvania: Times-Democrat, 1928.

Hollinshead Family File, Monroe County Historical Society.

Kautz Family File, Monroe County Historical Society.

McAlester, Virginia and Lee McAlester. *A Field Guide To American Houses.* New York: Alfred A. Knopf, 1988.

Monroe County Deed Book 43: 23; 62: 604; 76: 609; 102:841; 1728: 742.

Obituaries, *Daily Times*, Stroudsburg, Pennsylvania, January 4, 1904.

Obituaries, *Jeffersonian*, Stroudsburg, Pennsylvania, March 30, 1905.

*Pocono Record*, Stroudsburg, Pennsylvania, April 1975.

United States Census Bureau. *1900 United States Federal Census.* On File at the Harrisburg State Museum, 1900.

United States Census Bureau. *1920 United States Federal Census.* On File at the Harrisburg State Museum, 1920.

United States Census Bureau. *1930 United States Federal Census.* On File at the Harrisburg State Museum, 1930.



**Photograph 1:** View of the cobblestone wall to the front of the house and sidewalk leading to the front door.



**Photograph 2:** South and east elevations of the ca. 1915 Kautz-Kintz House.





**Photograph 3:** North and east elevations of the ca. 1915 Kautz-Kintz House.



**Photograph 4:** View of porch and entrance of the Kautz-Kintz House.





**Photograph 5:** North and East elevations of the Kautz-Kintz House.



**Photograph 6:** South and west elevations of the c. 1915 Kautz-Kintz House.





**Photograph 7:** South and east elevations of the concrete block garage.



**Photograph 8:** North and west elevations of the concrete block garage.



**Photograph 9:** View looking south at the frame wood shed, adjacent to the garage.



# Historic Resource Survey Form

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION  
 Pennsylvania State Historic Preservation Office (PA SHPO)

Key # _____
ER# <u>2013-8131-089</u>

## Name, Location and Ownership *(Items 1-6; see Instructions, page 4)*

**HISTORIC NAME:** Hollinshead Cemetery/ Kiser's Burying Ground  
**CURRENT/Common NAME:** Hollinshead Cemetery  
**STREET ADDRESS:** Dreher Avenue, Stroudsburg, PA **ZIP:** 18360  
**LOCATION:** north side of Dreher Avenue and bound on the west side by the house at 1228 Dreher Avenue  
**MUNICIPALITY:** Stroudsburg Borough **COUNTY:** Monroe  
**TAX PARCEL #/YEAR:** 18730009166424 **USGS QUAD:** Stroudsburg  
**OWNERSHIP**       Private  
                           Public/Local    Public/County    Public/State    Public/Federal  
**OWNER NAME/ADDRESS:** Hollinshead Cemetery/Dreher Avenue, Stroudsburg, PA 18360  
**CATEGORY OF PROPERTY**    Building    Site    Structure    Object    District  
**TOTAL NUMBER OF RESOURCES:**   1  

## Function *(Items 7-8; see Instructions, pages 4-6)*

Historic Function	Subcategory	Particular Type
<u>Funerary</u>	<u>Cemetery</u>	<u>Family Cemetery</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
Current Function	Subcategory	Particular Type
<u>Funerary</u>	<u>Cemetery</u>	<u>Family Cemetery</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

## Architectural/Property Information *(Items 9-14; see Instructions, pages 6-7)*

### ARCHITECTURAL CLASSIFICATION

<u>N/A</u>	_____	_____
_____	_____	_____
_____	_____	_____

### EXTERIOR MATERIALS and STRUCTURAL SYSTEM

Foundation	<u>N/A</u>	_____
Walls	<u>Stone</u>	_____
Roof	<u>N/A</u>	_____
Other		_____
Structural System	<u>N/A</u>	_____

**WIDTH:** 65 feet                      **DEPTH:** 110 feet                      **STORIES/HEIGHT:** N/A

**Property Features** (Items 15-17; see Instructions, pages 7-8)

Setting: suburban

**Ancillary Features**

Stone wall \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Acreage: 0.1 (round to nearest tenth)

**Historical Information** (Items 18-21; see Instructions, page 8)

Year Construction Began: 1764  Circa      Year Completed 1864  Circa

Date of Major Additions, Alterations \_\_\_\_\_  Circa      \_\_\_\_\_  Circa      \_\_\_\_\_  Circa

Basis for Dating  Documentary  Physical

Explain: Based upon background literature research and physical inspection

Cultural/Ethnic Affiliation(s): None

Associated Individual(s): Hollinshead, Stroud, Van Vliet families

Associated Event(s): None

Architect(s): Unknown

Builder(s):

**Submission Information** (Items 22-23; see Instructions, page 8)

Previous Survey/Determinations: None

Threats  None  Neglect  Public Development  Private Development  Other

Explain: The property is located within the APE for the SR 0080-17M Reconstruction Project

This submission is related to a  non-profit grant application  business tax incentive  
 NHPA/PA History Code Project Review  other

**Preparer Information** (Items 24-30; see Instructions, page 9)

Name & Title: Jerry Clouse, MA/Architectural Historian

Date Prepared: 5/11/2016

Project Name: SR 0080-17M Reconstruction Project

Organization/Company: McCormick Taylor, Inc.

Mailing Address: 5 Capital Drive, Suite 400, Harrisburg, Pennsylvania 17110

Phone: 717-540-6040

Email: jaclouse@mccormicktaylor.com



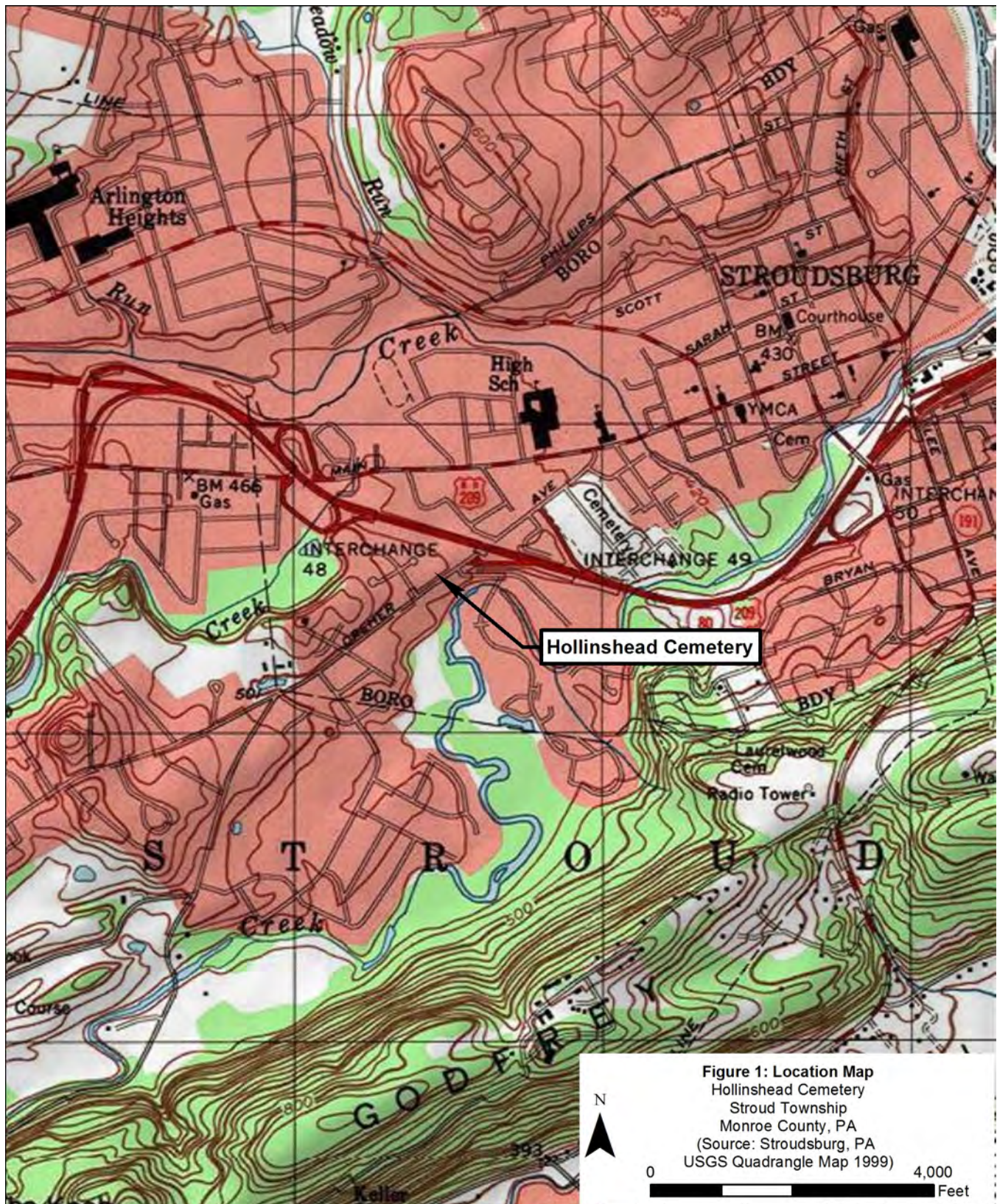


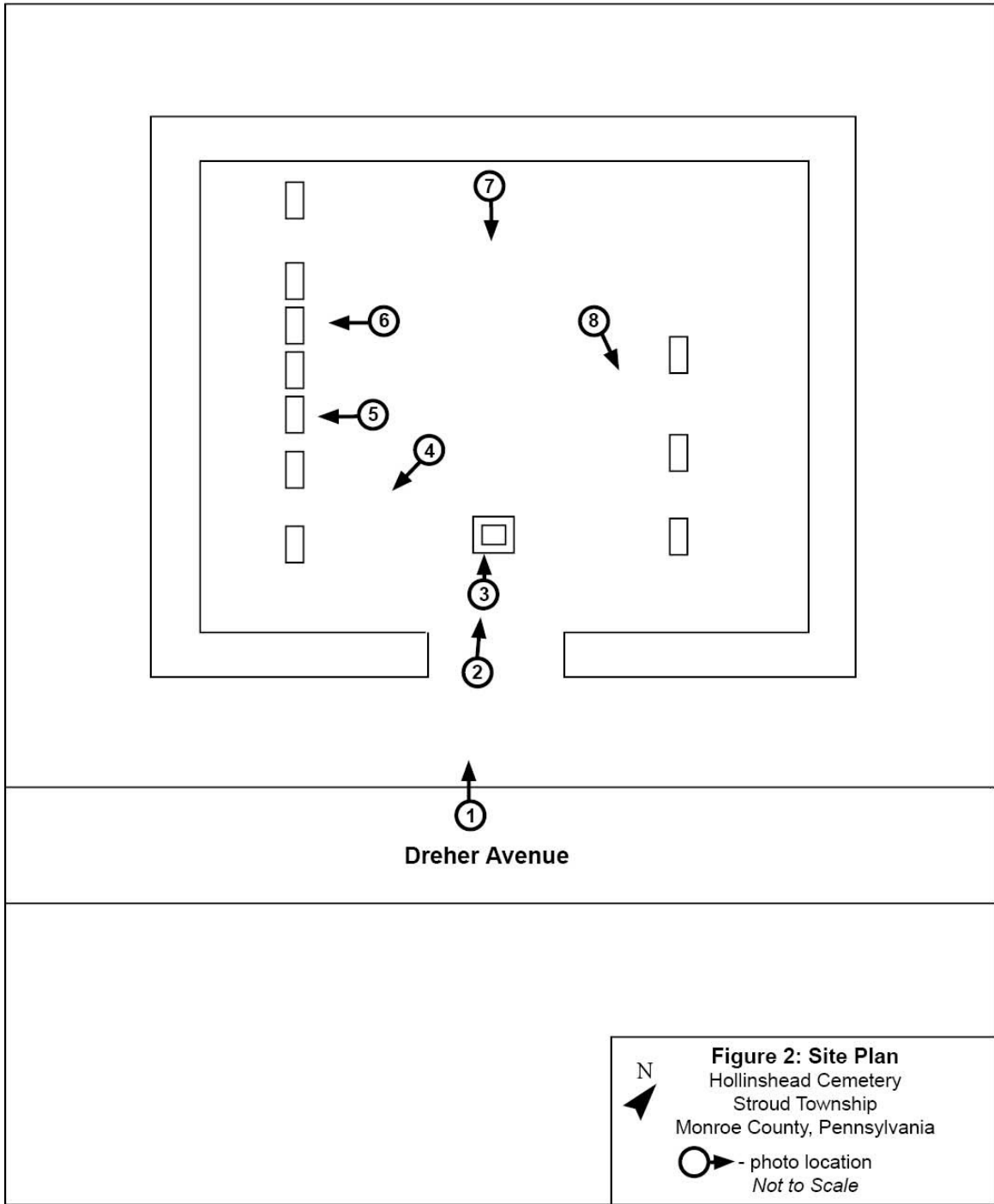




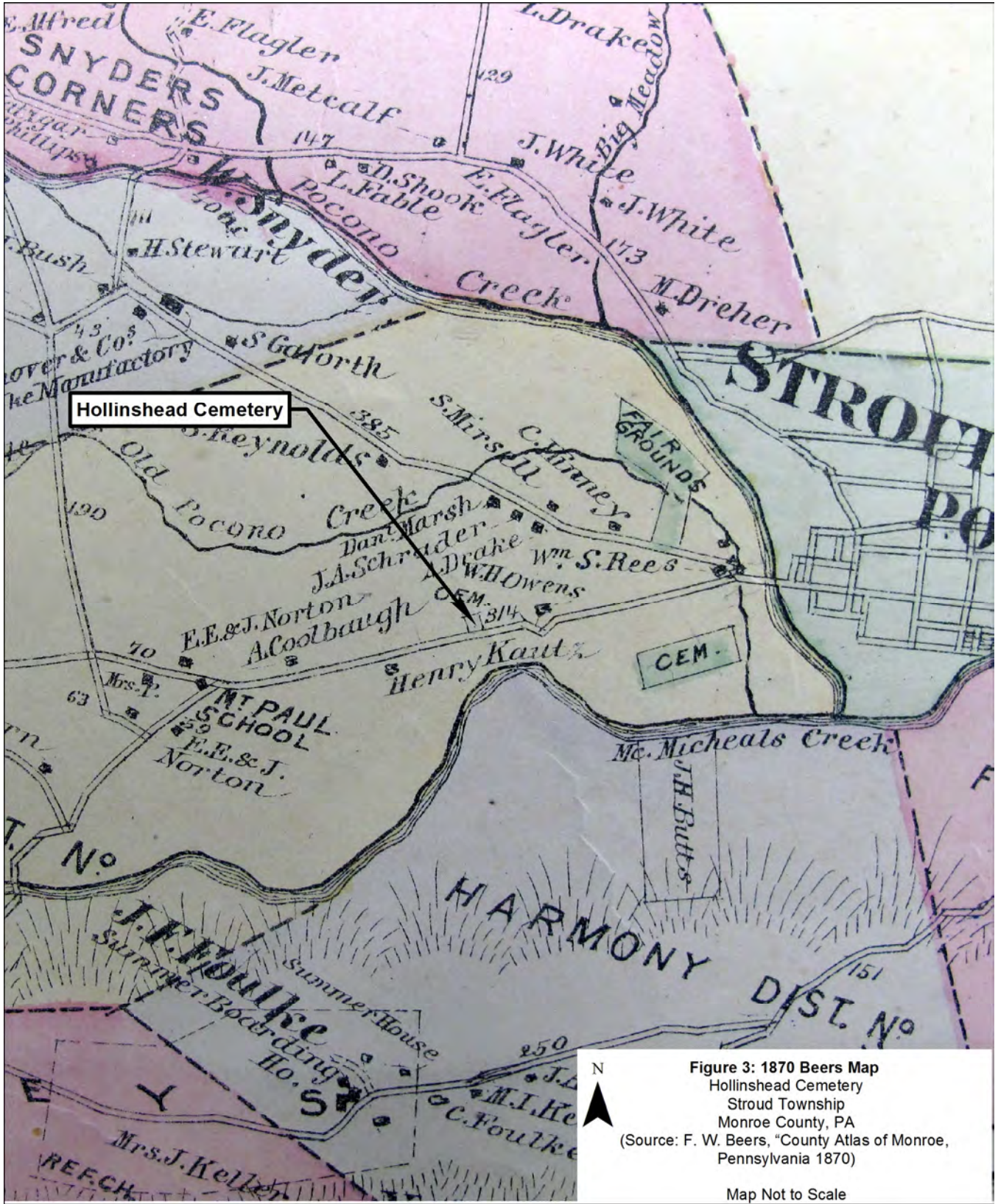
**Location Map** (Item 34)

See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.





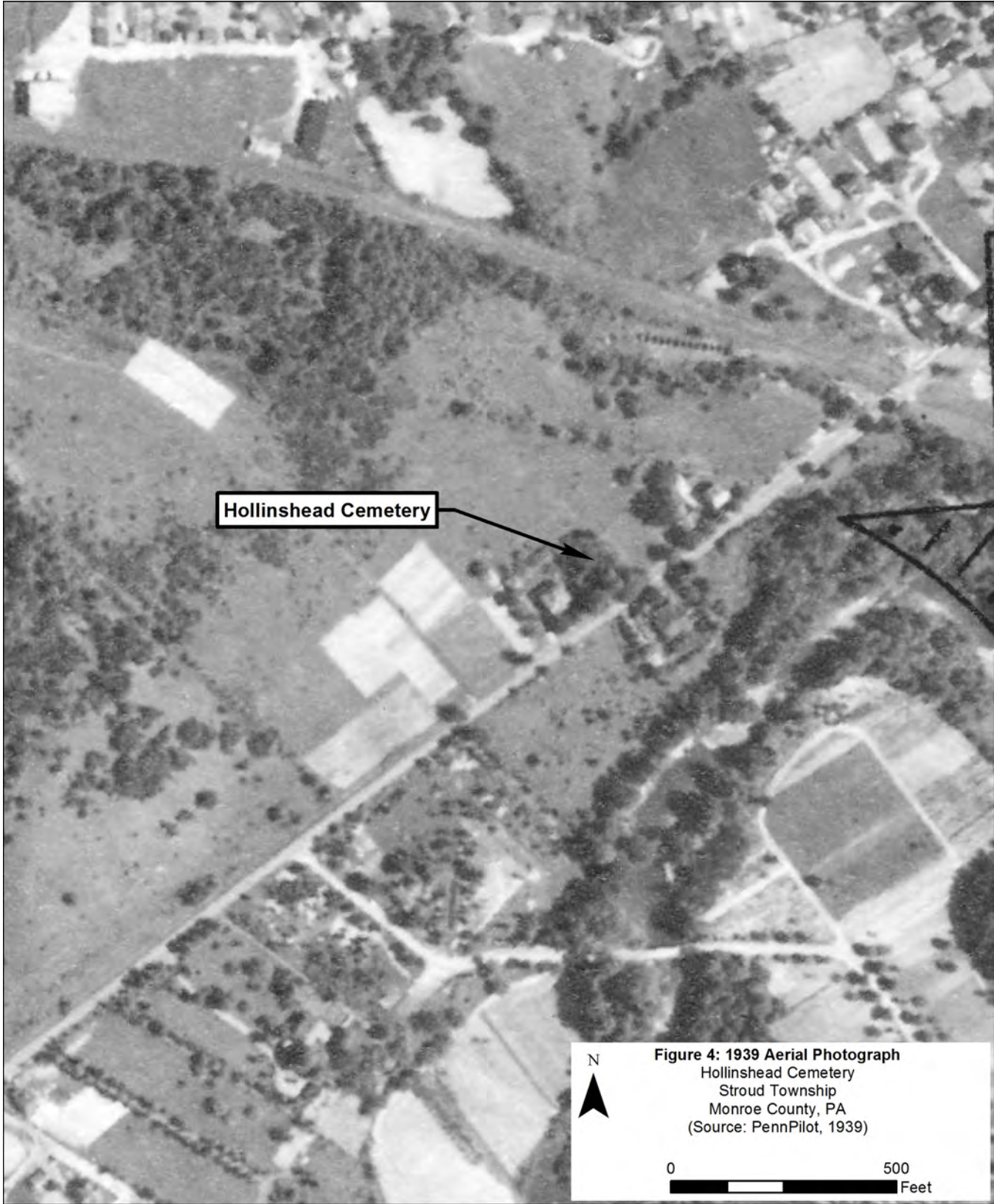




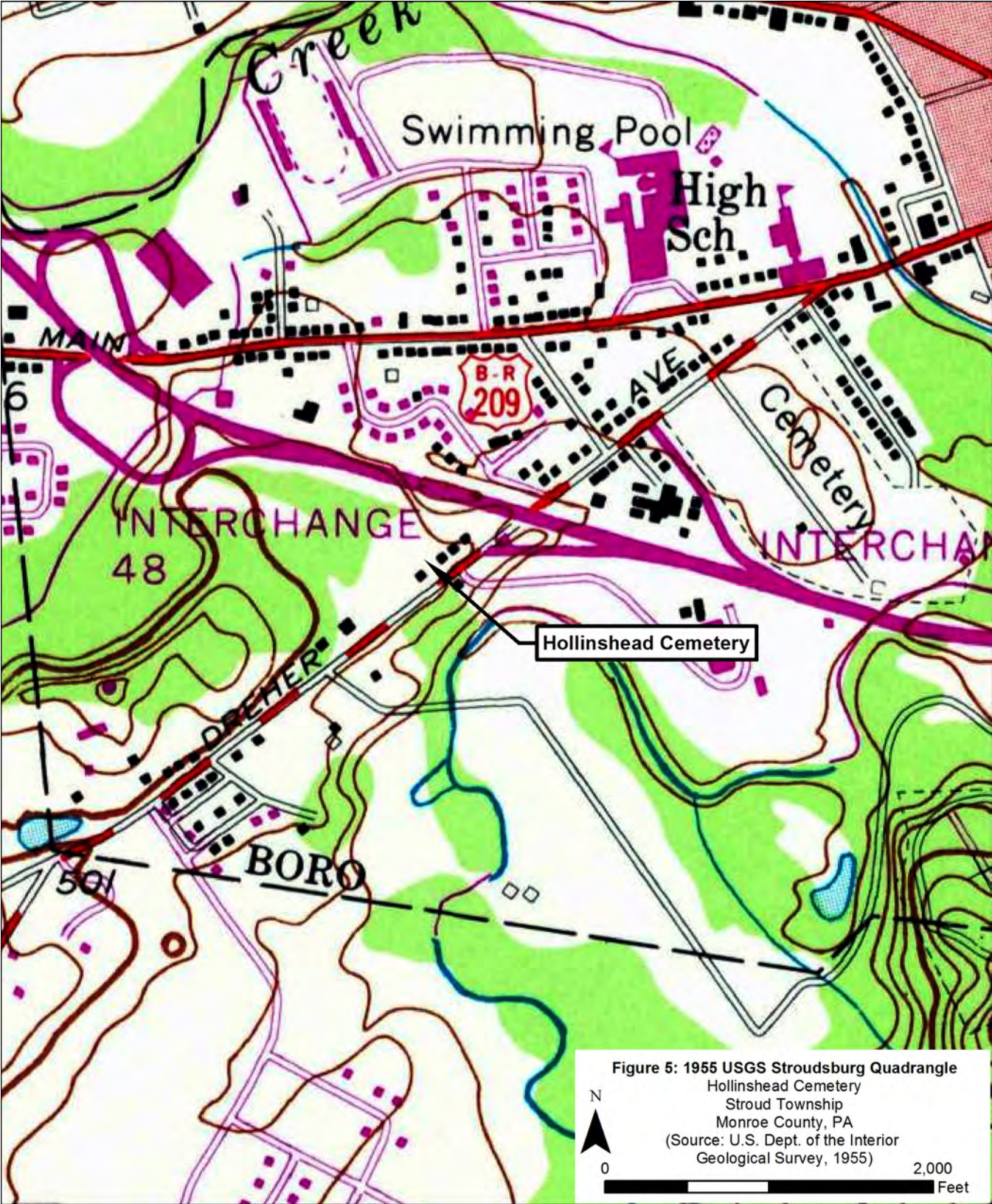
**Figure 3: 1870 Beers Map**  
 Hollinshead Cemetery  
 Stroud Township  
 Monroe County, PA  
 (Source: F. W. Beers, "County Atlas of Monroe,  
 Pennsylvania 1870)

Map Not to Scale









## Physical Description and Integrity (Item 38)

Provide a current description of the overall setting, landscape, and resources of the property. See page 13 of the Instructions for detailed directions. Continue on additional sheets as needed. Suggested outline for organizing this section:

- Introduction [summarize the property, stating type(s) of resource(s) and function(s)]
- Setting [describe geographic location, streetscapes, natural/man-made landscape features, signage, etc.]
- Exterior materials, style, and features [describe the exterior of main buildings/resources]
- Interior materials, style, and features [describe the interior of main buildings/resources]
- Outbuildings/Landscape [describe briefly additional outbuildings/landscape features found on property, substitute Building Complex Form if preferred; See Instructions, page 18]
- Boundaries [explain how/why boundaries chosen, such as historic legal parcel, visual natural features such as tree lines, alley separating modern construction, etc.]
- Integrity [summarize changes to the property and assess how the changes impact its ability to convey significance]

The Hollinshead Cemetery is located on the north side of Dreher Avenue and bound on the west side by the house at 1228 Dreher Avenue. The cemetery is surrounded by a grove of mature trees on all sides except to the front, and it is enclosed with an ashlar limestone wall evidently erected in the late nineteenth/early twentieth century. The wall is topped with a poured concrete cap. The exterior face of the wall has a grapevine mortar joint, but the interior face of the wall has a flat mortar joint. There is a single, centrally located entrance along the south side facing onto Dreher Avenue. The entrance faces directly onto the Stroud Hollinshead monument, nearly centrally located within the cemetery. Six concrete slab steps lead up a small slope to the cemetery from Dreher Avenue.

There are 13 marked graves in the Hollinshead Cemetery, and there are likely many more which are unmarked. Generally, the stones are lined in two rows, one row facing east and the other row facing west. The Stroud J. Hollinshead obelisk is set at the south end of the cemetery between the two rows. Of the marked graves, eight are for the Hollinshead family, two for the Van Vliet family and two for the Stroud family. One additional stone is a fieldstone with no markings. Evidently the burial ground was begun in the late eighteenth century when it was known as Kiser's Burying Ground (Hollinshead Cemetery file at Monroe County Historical Society). The earliest tombstone is for Dirck Van Vliet, born in 1699 and died in 1774. Dirck's wife Rachel Van Keuren is also buried there. She was born in 1707 and died in 1787. A twentieth century cast metal plaque attached to a small granite slab now marks their graves.

The grave of John Stroud, who died in 1814, aged 45 years, is marked with a plain, weathered marble slab. The grave of his wife Elizabeth Dupuy (1776-1815) is commemorated similarly. Dr. James Hollinshead (1768-1831) and his wife Sarah Stroud (1770-1853) are also buried there. They are memorialized with white marble stones with curvilinear crests. John Stroud and Sarah Stroud Hollinshead were two of the children of Colonel Jacob Stroud, founder of Stroudsburg.

The small cemetery is dominated by the marble obelisk for Stroud J. Hollinshead. Stroud J. Hollinshead was born in 1799 and died in 1864. A veteran's marker adjoins his grave, but it is unknown what war he may have served in. His burial appears to document the last marked grave in the cemetery.



## History and Significance (Item 39)

Provide an overview of the history of the property and its various resources. Do not substitute deeds, chapters from local history books, or newspaper articles. See page 14 of the Instructions for detailed directions. Continue on additional sheets as needed.

Suggested outline for organizing this section:

- History [Summarize the evolution of the property from origin to present]
- Significance [Explain why the property is important]
- Context and Comparisons [Describe briefly similar properties in the area, and explain how this property compares]

According to records of the Monroe County Tax Office, the Hollinshead Cemetery has no owner. However, the Monroe County Historical Society appears to have taken over responsibility for the cemetery's upkeep. The first known record of the cemetery is when George Malvin, administrator of the Sarah Stroud Hollinshead estate, deeded the 213-acre Hollinshead farm property to Henry Kautz in 1853, the burial ground "on the right side of the road leading to Stroudsburg" was not included within the tract (Monroe County Deed Book 7: 562). The deed stated, "excepting and reserving however the family burying ground." The measurements given in the deed for the cemetery were for a rectangle measuring 65 feet by 110 feet. (The actual cemetery enclosed with a stone wall is considerably less than these dimensions. It is unknown whether the larger size was designated with the possibility of future additional graves or whether it was believed that unknown burials were located within the larger parcel.)

In 1948 Hollinshead descendants agreed to pay \$341.00 for the restoration of the wall around the Hollinshead Cemetery. As part of that agreement, a new concrete coping was to be placed on top of the wall and the front wall was to be refaced (Hollinshead Family file at Monroe County Historical Society). The Monroe County Historical Society was to supervise the project. According to a receipt at the historical society, work on the cemetery was completed by September 1949 with Aaron T. Smith being the masonry contractor.

As noted above, the earliest marked grave is for Dirck Van Vliet. A native of Amsterdam, Van Vliet, came to the Minisink region of northeastern Pennsylvania by way of Esopus, present-day Kingston, New York, on the Hudson River. Apparently by the 1740s Van Vliet had settled in the area of present-day East Stroudsburg, where he and his wife Rachel had twelve children (Van Vliet family file at Monroe County Historical Society). In 1760 he purchased 300 acres west of present-day Stroudsburg, and it was on this land that he was buried (Hollinshead Family file at Monroe County Historical Society),

The simple marble headstone for John Stroud (1768-1814), eldest son of Colonel Jacob Stroud, belies the fact that during his lifetime he lived in two of the finest houses of the region. The first is the three-and-a-half story Georgian style mansion at 900 Main Street, Stroudsburg, which was listed in the National Register in 1979. Later he moved to the stone farmhouse that became the Glen Brook Country Club. Both houses had been built by his father, Jacob Stroud. John's wife Elizabeth Dupuy (1776-1815) is also buried here with a simple marble headstone. At the time of John's death Stroud Township was part of Lower Smithfield Township, Northampton County. No further information was located on John and Elizabeth's achievements.

The marble obelisk for Stroud Jacob Hollinshead (1799-1864) is a fitting monument to one of Stroudsburg's political and financial leaders of the time. Born in the Stroud-Hollinshead House (1303 Dreher Avenue), Stroud built the old Stroudsburg House, later the Penn-Stroud Hotel, in Stroudsburg, which he operated for many years. In 1836 he donated the present site for the Monroe County Courthouse as well as the portion of Franklin Street that extends from Main Street to the courthouse. He also was one of the organizers of the Stroudsburg Bank in 1857 (Elizabeth Hollinshead Bell 1927: 7). The 1860 population census for Stroudsburg notes Stroud J. Hollinshead, aged 59, as a farmer with \$34,340 worth of real estate and \$16,600 worth of personal estate, making him a well-to-do man of the time in Stroudsburg.

## National Register of Historic Places Evaluation

The Hollinshead Cemetery was evaluated according to the criteria set forth in *National Register Bulletin 15: "How to Apply the National Register for Evaluation."* The property does not appear to be associated with any important historic events or trends under Criterion A. Although members of the Van Vliet family, early settlers of the Stroudsburg area, are buried here, their original stones are no longer extant. As evaluated under Criterion B, the Hollinshead Cemetery is not known to be associated with any individuals of local, state, or national significance. Members of the Stroud and Hollinshead families are interred here, but their significant achievements of the period are more clearly represented in the nearby Stroud-Hollinshead House. Stroud Jacob Hollinshead is buried here, but his significance is more closely related to the commercial and court interests of downtown Stroudsburg. As evaluated under Criterion C, the Hollinshead Cemetery is not eligible for the National Register of Historic Places. The tombstones within the cemetery do not display significant or noteworthy artistic designs. In addition, the overall cemetery does not display a noteworthy design or layout. For these reasons the Hollinshead Cemetery is evaluated as not eligible under Criterion C. Archaeological investigations have not been conducted on the property; therefore, the resource's eligibility under Criterion D (potential to yield information important to history or prehistory) cannot be assessed at this time. The Hollinshead Cemetery is recommended not eligible for the National Register of Historic Places.

Certain types of properties, including cemeteries and graves, must meet special criteria considerations along with the basic eligibility requirements. With regard to cemeteries and graves specifically, Criteria Consideration C and D must be evaluated. As evaluated under Criterion Consideration C, the Hollinshead Cemetery is not associated with any historical figures of outstanding importance where the grave is the most appropriate site associated with his or her productive life. None of the figures associated with this cemetery have made contributions to local, state, or national history that were known to be truly extraordinary. As evaluated under Criterion Consideration D, the Hollinshead Cemetery does not derive significant importance from the graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events. This cemetery did not play a significant role in any major trends of the time.





1. Looking north, overall view of cemetery from Dreher Avenue.



2. Looking north, view from southern entrance into cemetery.





3. Close-up view of Stroud J. Hollinshead monument.





4. Interior view of cemetery. Note fieldstone at far right.



5. Close-up view of John Stroud tombstone.





6. Close-up view of Dirck Van Vliet and wife memorial.



7. Looking through the cemetery from the north.





8. Interior view of cemetery, looking southeast.



# Historic Resource Survey Form

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION  
Pennsylvania State Historic Preservation Office (PA SHPO)

Key # _____
ER# _____ 2013-8131-089 _____

## Name, Location and Ownership *(Items 1-6; see Instructions, page 4)*

**HISTORIC NAME:** South Stroudsburg  
**CURRENT/Common NAME:** South Stroudsburg  
**STREET ADDRESS:** bounded by McMichael Creek, Huston Avenue, Morningside Avenue, and Highland Drive ZIP 18360  
**LOCATION:** South of McMichael Creek along SR 191 and SR 611  
**MUNICIPALITY:** Stroudsburg Borough **COUNTY:** Monroe  
**TAX PARCEL #/YEAR:** multiple **USGS QUAD:** Stroudsburg, PA  
**OWNERSHIP**       **Private**  
                          **Public/Local**    **Public/County**    **Public/State**    **Public/Federal**  
**OWNER NAME/ADDRESS:** multiple  
**CATEGORY OF PROPERTY**    **Building**    **Site**    **Structure**    **Object**    **District**  
**TOTAL NUMBER OF RESOURCES:** 360 approximately

## Function *(Items 7-8; see Instructions, pages 4-6)*

Historic Function	Subcategory	Particular Type
<u>Domestic</u>	<u>Single dwellings</u>	<u>Houses</u>
<u>Commerce</u>	<u>Business</u>	<u>Service stations</u>
<u>Commerce</u>	<u>Business</u>	<u>Stores</u>
<u>Religion</u>	<u>Religious structure</u>	<u>Church</u>
<b>Current Function</b>	<b>Subcategory</b>	<b>Particular Type</b>
<u>Domestic</u>	<u>Single dwellings</u>	<u>Houses</u>
<u>Commerce</u>	<u>Business</u>	<u>Service stations</u>
<u>Commerce</u>	<u>Business</u>	<u>Stores</u>
<u>Religion</u>	<u>Religious structure</u>	<u>Church</u>

## Architectural/Property Information *(Items 9-14; see Instructions, pages 6-7)*

### ARCHITECTURAL CLASSIFICATION

<u>Bungalow</u>	<u>Colonial Revival</u>	<u>Tudor Revival</u>
<u>Cape Cod</u>	<u>Ranch</u>	<u>Vernacular</u>
<u>Dutch Colonial Revival</u>	<u>Minimal Traditional</u>	_____

### EXTERIOR MATERIALS and STRUCTURAL SYSTEM

Foundation	<u>Stone</u>	<u>Concrete</u>
Walls	<u>Brick</u>	<u>Vinyl</u>
Roof	<u>Asphalt</u>	<u>Slate</u>
Other	<u>Wood</u>	_____
Structural System	<u>Frame</u>	_____

**WIDTH:** 2-4 (# bays)

**DEPTH:** 2-4 (# rooms)

**STORIES/HEIGHT:** 1 - 2

**Property Features** (Items 15-17; see Instructions, pages 7-8)

Setting: Urban

**Ancillary Features**

Parking lots \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Acreage: 158.2 (round to nearest tenth)

**Historical Information** (Items 18-21; see Instructions, page 8)

Year Construction Began: 1880  Circa      Year Completed 2010  Circa

Date of Major Additions, Alterations \_\_\_\_\_  Circa      \_\_\_\_\_  Circa      \_\_\_\_\_  Circa

Basis for Dating  Documentary  Physical

Explain: Based upon physical inspection and available tax and property records

Cultural/Ethnic Affiliation(s): N/A

Associated Individual(s): N/A

Associated Event(s): None

Architect(s): multiple

Builder(s): multiple

**Submission Information** (Items 22-23; see Instructions, page 8)

Previous Survey/Determinations: None

Threats  None  Neglect  Public Development  Private Development  Other

Explain: The property is located within the APE for the SR 0080-17M Reconstruction Project

This submission is related to a  non-profit grant application  business tax incentive

NHPA/PA History Code Project Review  other

**Preparer Information** (Items 24-30; see Instructions, page 9)

Name & Title: Charles Richmond, MA/architectural historian

Date Prepared: May 12, 2016

Project Name: SR 0080-17M Reconstruction Project

Organization/Company: McCormick Taylor, Inc.

Mailing Address: 5 Capital Drive, Suite 400, Harrisburg, Pennsylvania 17110

Phone: 717-540-6040

Email: carichmond@mccormicktaylor.com





## Photo List (Item 33)

See pages 10-11 of the Instructions for more information regarding photos and the photo list. In addition to this photo list, create a photo key for the site plan and floor plans by placing the photo number in the location the photographer was standing on the appropriate plan. Place a small arrow next to the photo number indicating the direction the camera was pointed. Label individual photos on the reverse side or provide a caption underneath digital photos.

Photographer name: Charles Richmond, MA

Date: September 25, 2015

Location Negatives/Electronic Images Stored: McCormick Taylor, Inc. 5 Capital Drive, Harrisburg, Pennsylvania 17110

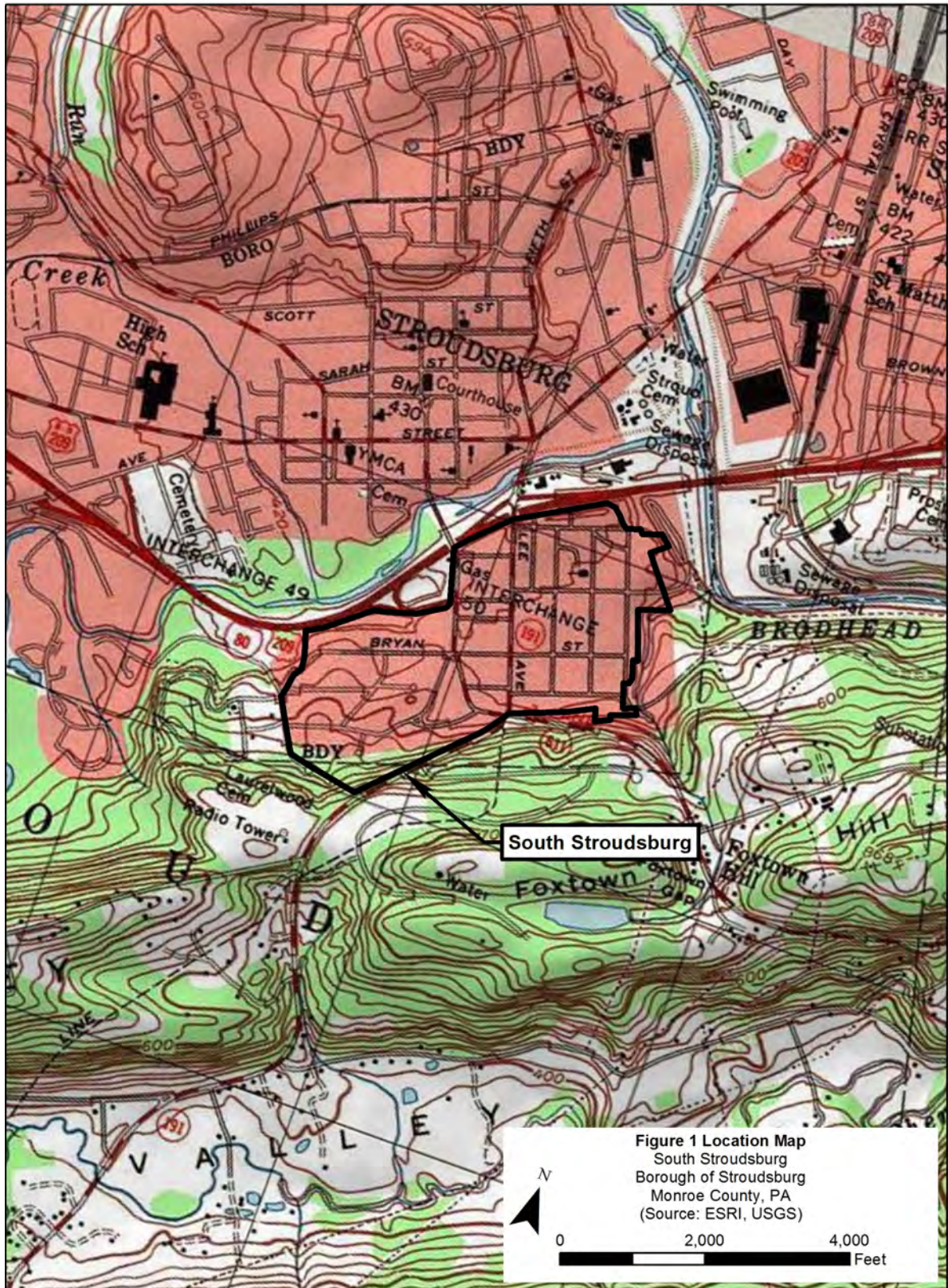
Key # _____
ER# _____ 2013-8131-089 _____

Photo #	Photo Subject/Description	Camera Facing
1	View looking northeast at residences along the east side of Broad Street from Lenox Street	NE
2	View looking northwest along Broad Street from Robeson Street	NW
3	View looking northwest along Broad Street from intersection with Bryant Street	NW
4	View looking southwest along Broad Street from intersection with Bryant Avenue.	SW
5	Looking southwest at 114 Park Avenue, formerly the car barn for the Stroudsburg & Water Gap Street Railway	SW
6	Looking south along Park Avenue from Robeson Street	S
7	North and west elevations of 134 Park Avenue, formerly the Richard Klofach Funeral Home	SE
8	View looking southwest at residences along Park Avenue near the intersection with Morningside Ave	SW
9	View looking east along Park Avenue toward the intersection of with SR 191 (Broad Street)	E
10	View looking northeast along Lenox Street from Park Avenue	NE
11	View looking southwest along Colbert Street	SW
12	View looking southeast along Collins Street	SE
13	View looking southwest along Collins Street from Stokes Avenue.	SW
14	View looking at northeast side of Lee Avenue, south of Collins Street	NE
15	View looking southwest along Lee Avenue	SW
16	View looking northwest along Huston Avenue, north of East Bryant Street	NW
17	View looking east at 120 Huston Avenue	E
18	Looking southwest at residences along Bryant Street	SW
19	View looking northwest at residences located along the north side of Bryant Street	NW
20	East and north elevations of 785 Bryant Street	SW
21	View looking northwest at 764 Bryant Street	NW
22	View looking northwest at residence at the western end of Bryant Avenue	NW
23	View looking southwest along East Bryant Street from Stokes Avenue	SW
24	View looking west along Clermont Avenue from intersection with Stokes Avenue	W
25	View looking east along Clermont Avenue from Stokes Avenue	E
26	View looking southeast at mid-20 <sup>th</sup> century apartment building located along Clermont Avenue	SE
27	View looking southwest along Club Court	SW
28	North and west elevations of 50 Club Court	SE
29	View looking southeast at residence located at 14 Morningside Avenue	SE
30	View looking southeast at the modern Keller Williams Real Estate Building at 404 Park Avenue	SE
31	Looking northeast at the modern Sunoco Service station and Econo Lodge along Park Avenue	NE
32	Looking northeast from Morningside Avenue toward a modern office building along Park Avenue.	NE
33	Looking southwest at late 20 <sup>th</sup> century commercial building along the west side of Broad Street.	SW
34	View of the modern Pocono Record Building at the intersection of Lenox and Broad Streets	SW
35	View looking northwest along Bryant Street at modern residence.	NW
36	View of modern residence located along the north side of Club Court.	NW
37	Looking southeast at late 20 <sup>th</sup> century residence located along the south side of Club Court	SE

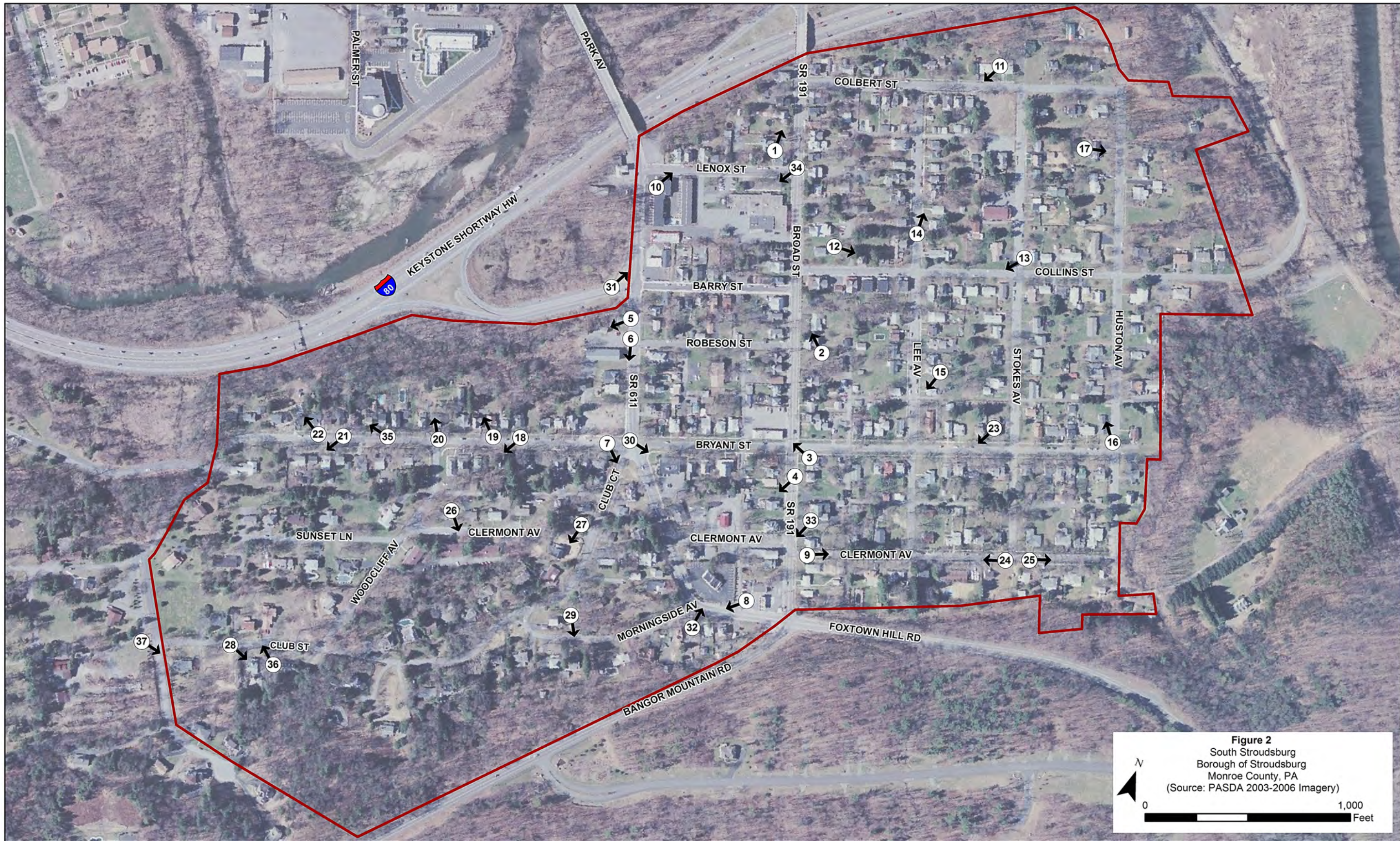


### Location Map (Item 34)

See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.







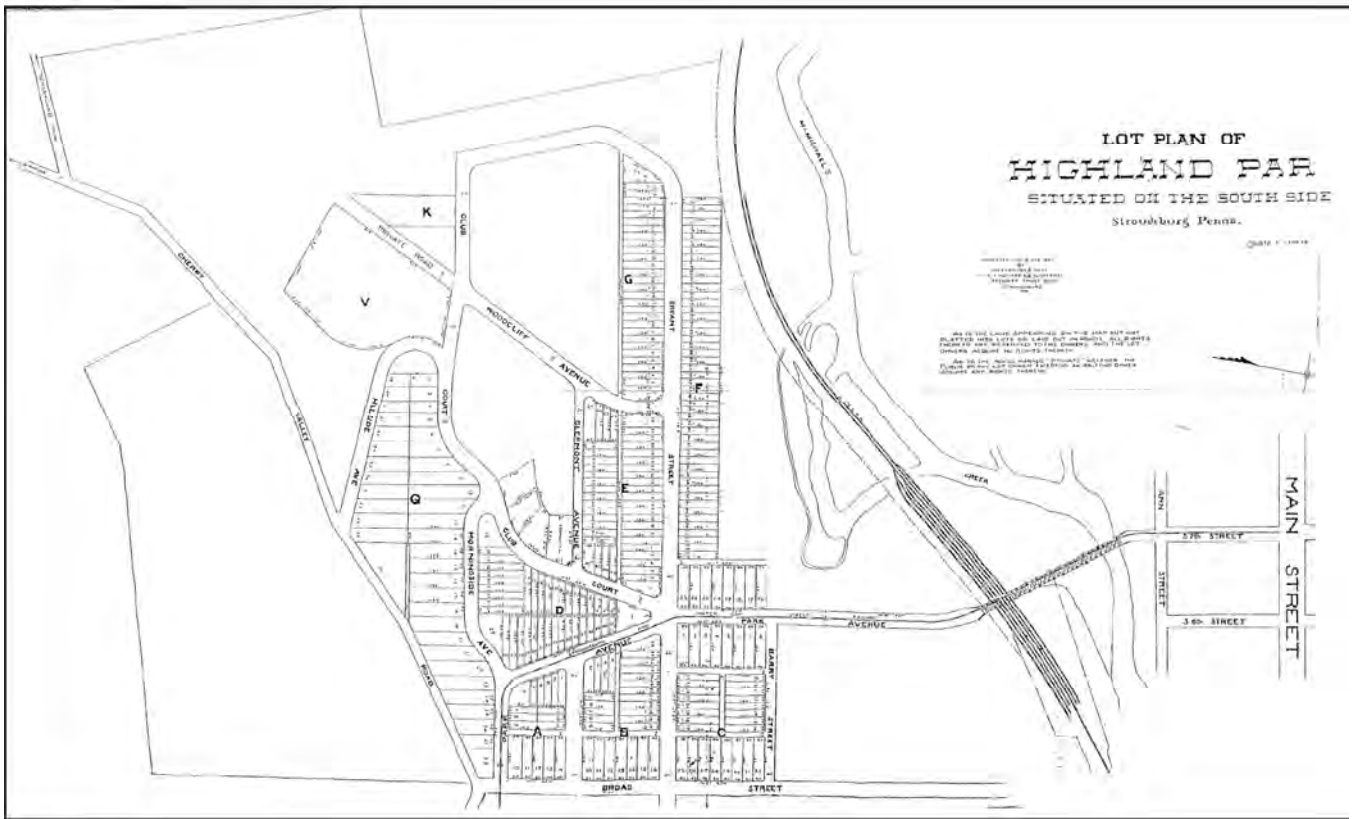
**Figure 2**  
 South Stroudsburg  
 Borough of Stroudsburg  
 Monroe County, PA  
 (Source: PASDA 2003-2006 Imagery)

N  
 0 1,000  
 Feet



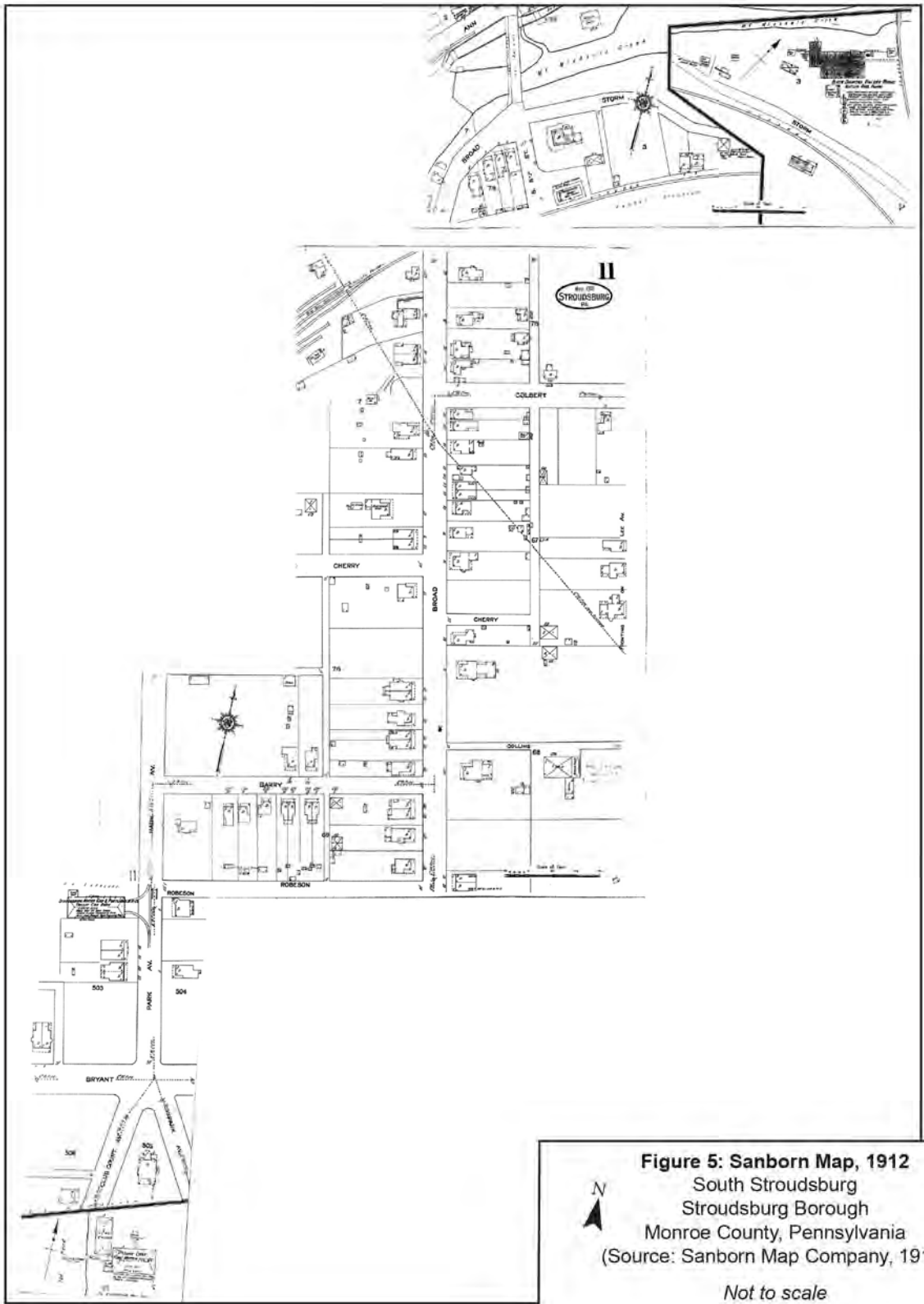


**Figure 3: Simon Lee Tract, 1896**  
 South Stroudsburg  
 Stroudsburg Borough  
 Monroe County, Pennsylvania  
 (Source: Monroe County Plan 1A-13)  
 Not to scale

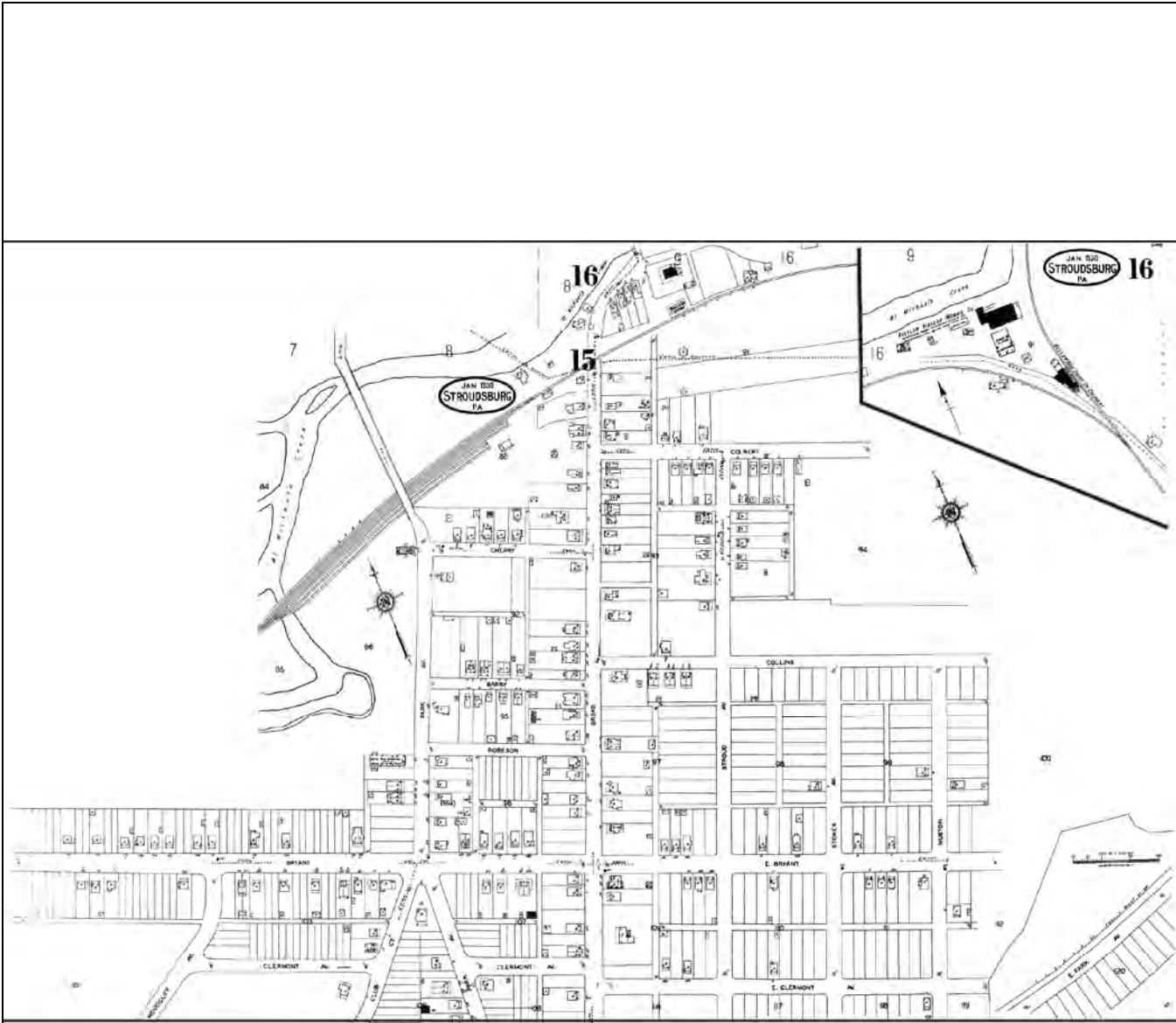



**Figure 4: Lot Plan of Highland Park, 1907**  
 South Stroudsburg  
 Stroudsburg Borough  
 Monroe County, Pennsylvania  
 (Source: Monroe County Plan F1-30)  
*Not to scale*



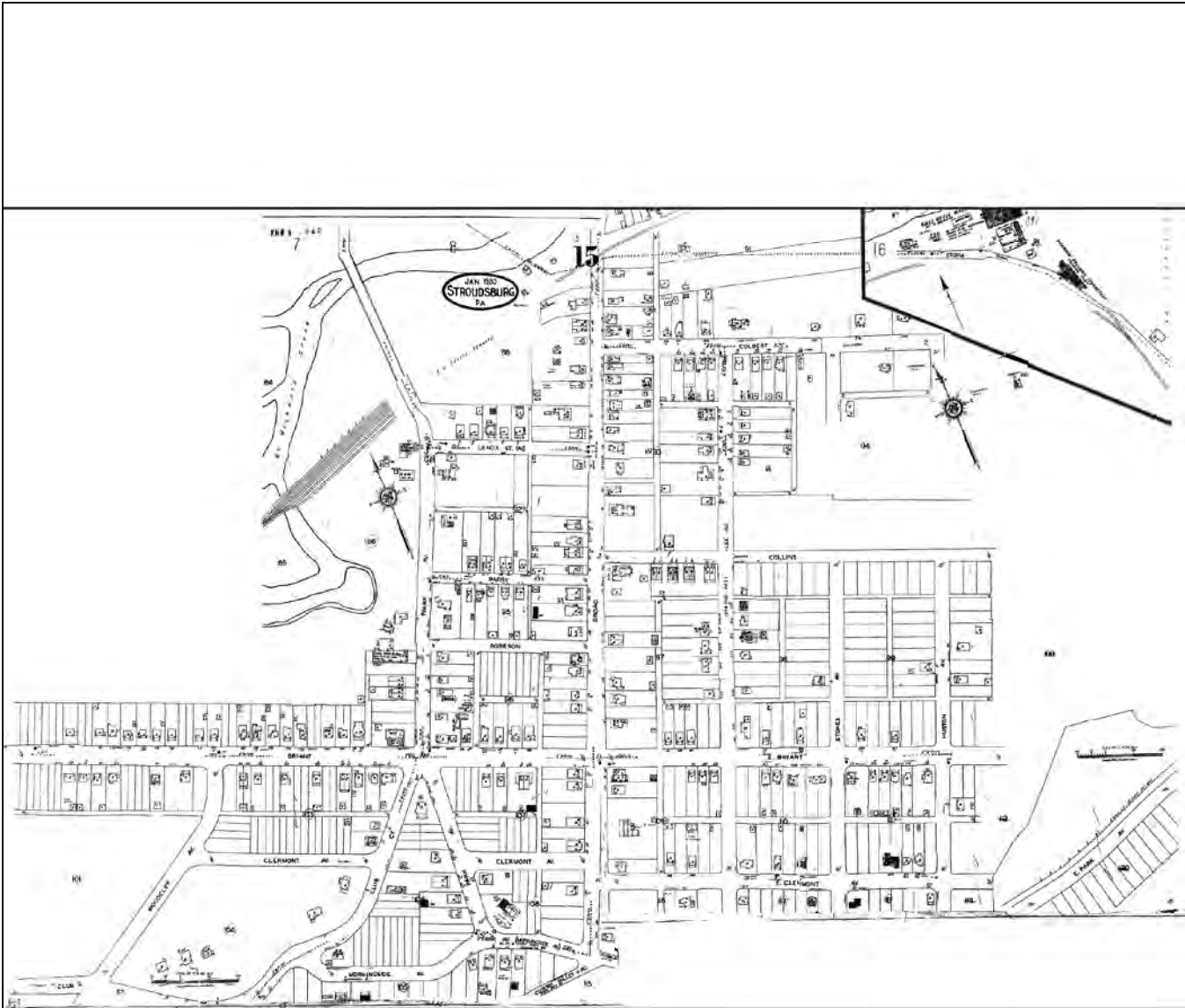


**Figure 5: Sanborn Map, 1912**  
South Stroudsburg  
Stroudsburg Borough  
Monroe County, Pennsylvania  
(Source: Sanborn Map Company, 1912)  
*Not to scale*

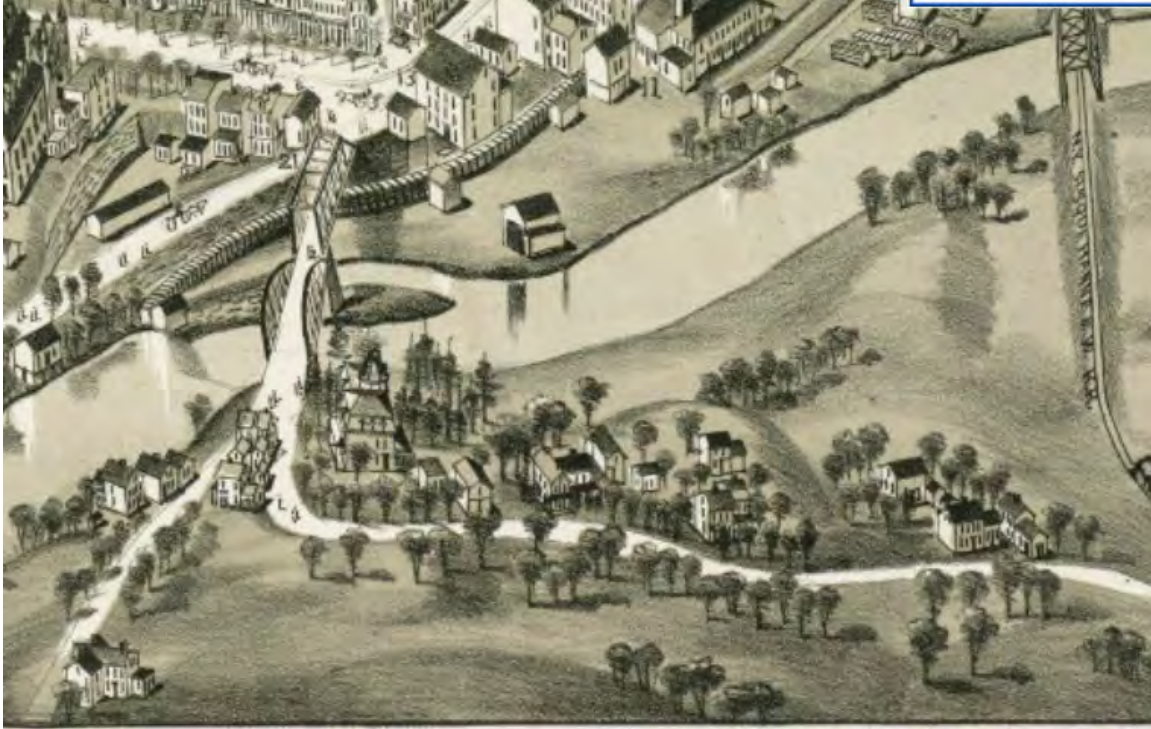


 **Figure 6: Sanborn Map, 1930**  
South Stroudsburg  
Stroudsburg Borough  
Monroe County, Pennsylvania  
(Source: Sanborn Map Company, 1930)  
*Not to scale*





**Figure 7: Sanborn Map, 1930 updated to 1950**  
South Stroudsburg  
Stroudsburg Borough  
Monroe County, Pennsylvania  
(Source: Sanborn Map Company,  
1930, updated to 1950)  
*Not to scale*



**Plate 1:** Bird's Eye View of South Stroudsburg in 1884. Note the development in the vicinity of the crossing of McMichael Creek.



**Plate 2:** Historic view of the New York, Susquehanna & Western Railroad Passenger Station (demolished), located along Storm Street.



## Physical Description and Integrity (Item 38)

Provide a current description of the overall setting, landscape, and resources of the property. See page 13 of the Instructions for detailed directions. Continue on additional sheets as needed. Suggested outline for organizing this section:

Key # _____
ER# _____ 2013-8131-089 _____

- Introduction [summarize the property, stating type(s) of resource(s) and function(s)]
- Setting [describe geographic location, streetscapes, natural/man-made landscape features, signage, etc.]
- Exterior materials, style, and features [describe the exterior of main buildings/resources]
- Interior materials, style, and features [describe the interior of main buildings/resources]
- Outbuildings/Landscape [describe briefly additional outbuildings/landscape features found on property, substitute Building Complex Form if preferred; See Instructions, page 18]
- Boundaries [explain how/why boundaries chosen, such as historic legal parcel, visual natural features such as tree lines, alley separating modern construction, etc.]
- Integrity [summarize changes to the property and assess how the changes impact its ability to convey significance]

South Stroudsburg is located in the southeastern section of the Borough of Stroudsburg, Monroe County, Pennsylvania. The South Stroudsburg neighborhood includes approximately 360 residential and commercial properties located south of downtown Stroudsburg. The neighborhood is roughly bounded by Interstate 80 (I-80) to the north; Huston Street, to the east; Clermont Avenue, Morningside Avenue, and Club Court, to the south; and Highland Drive, to the west. The neighborhood is primarily residential, but does include a small number of commercial properties. The neighborhood was established during the late nineteenth century and expanded rapidly during the early twentieth century. Residential and commercial development has continued throughout the mid-to-late twentieth century. The two major transportation corridors in South Stroudsburg are Broad Street (State Route 191) and Park Avenue (State Route 611). Park Avenue begins at McMichael Creek and is a continuation of South 7<sup>th</sup> Street from downtown Stroudsburg. The 7<sup>th</sup> Street Bridge over McMichael Creek was recently re-constructed to replicate the former bridge at that location. Broad Street begins at the McMichael Creek and is a continuation of North 5<sup>th</sup> Street in Stroudsburg. Both roads cross over I-80, travel north to south through the neighborhood, and merge in the southern part of the South Stroudsburg.

The housing located along Broad Street immediately south of I-80 is composed of early twentieth century residences, with most built prior to 1912. The homes include examples of the Foursquare style, as well as vernacular dwellings (**Photographs 1-3**). The vernacular residences were constructed during the early 1900s and are generally gable front, three-bay, two-and-a-half story frame structures that feature cornice returns and full width hipped roof porches. In addition, there are vernacular frame duplexes situated along Broad Street, including examples like 110-112 Broad Street. The ca. 1910 building is a six-bay, two-and-a-half story frame duplex with wood siding exterior and full width porch supported by tapered posts and stone piers. The section of Broad Street south of Bryant Street includes several early-to-mid twentieth century Bungalow style residences and mid-to-late twentieth century housing, such as Minimal Traditional, Ranch, and Contemporary styles (**Photograph 4**). A modern service station is located at the extreme southern end of Broad Street, at the intersection with Park Avenue. There are fifty-one residences and businesses located along Broad Street in the South Stroudsburg neighborhood.

Park Avenue (SR 611) enters South Stroudsburg via the 7<sup>th</sup> Street Bridge over McMichael Creek and I-80. Park Avenue continues south through the neighborhood to the intersection with Morningside Avenue and turns east to an intersection with Broad Street. Several early twenty-first century commercial properties are located at the northern end of Park Avenue, near the intersection with Lenox Street, including the modern Econo Lodge (100 Park Avenue), First National Bank (101 Park Avenue) and Sunoco service station. The former Stroudsburg & Water Gap Street Railway car barn is situated along the west side of Park Avenue. The ca. 1907 brick structure has been converted into a commercial business and has undergone numerous alterations (**Photograph 5**). The southern portion of Park Avenue includes a mixture of early through late twentieth century residences (**Photograph 6**). The former Richard Klofach Funeral Home, located at 134 Park Avenue, is an example of the Neoclassical style with its full height, curved portico (**Photograph 7**). A number of early-to-mid twentieth century residences are found at the southern end of Park Avenue. These consist mainly of Bungalow and Colonial Revival style homes (**Photograph 8**). An office building and modern service station are found along Park Avenue, near the intersection with Broad Street (**Photograph 9**).

Lennox, Barry, and Robeson Streets extend east to west between Park Avenue and Broad Street in the northern section of the neighborhood. Lenox Street includes five early-to-mid twentieth century residential properties that are mainly one to two stories, gable front vernacular frame dwellings (**Photograph 10**). The Pocono Record office building, built in 1994, is located at the southeast corner of the intersection with Broad Street. There are ten residences

located along Barry Street. The properties were mostly built during the early twentieth century and include several frame vernacular and Foursquare style dwellings. An apartment building is located at 611 Robeson Street and was constructed in 1979.

Key # _____
ER# _____ 2013-8131-089 _____

South Stroudsburg is composed of more densely populated rectilinear blocks to the east of Park Avenue. The streets located in this section include Broad Street, Colbert Street, Collins Avenue, Bryant Street, Clermont Avenue, Lee Avenue, Stokes Avenue, and Huston Avenue. The neighborhood is a mixed residential/commercial neighborhood. The majority of businesses and shops are found along Park Avenue, with a small number of businesses found along Broad Street and Lennox Street.

Colbert Street, located immediately south of I-80, includes twenty residential properties constructed during the early-to-late twentieth century. The properties along Colbert Street include numerous early twentieth century Bungalow and Foursquare style residences (**Photograph 11**). Mid-century Colonial Revival and Cape Cod style homes are also found along Colbert Street. Collins Street includes twenty-one buildings dating from the early twentieth century through 2014 and includes a variety of architectural styles. The earliest buildings are found near the intersection with Broad Street. Several ca. 1915 two-story, four-bay duplexes are found along the south side of Collins Street, east of Broad Street (**Photograph 12**). In general, these vernacular buildings have stone foundations, brick exteriors, and either flat or side gable roofs. The dwellings located west of Stokes Avenue are primarily mid-to-late twentieth century structures, including examples of the Ranch and Minimal Traditional styles (**Photograph 13**). A total of twenty-seven residences and apartment buildings are found along the Clement Avenue, which is interrupted by Broad Street and Park Avenue. Clermont Avenue was first developed during the 1920s. The most development along Clermont Avenue occurred during the mid-to-late twentieth century, particularly after 1950. Minimal Traditional and Ranch style are prevalent along Clermont Avenue. The section of Clermont Avenue west of Park Avenue includes several mid twentieth century apartment buildings with Colonial Revival elements.

Lee Avenue, Stokes Avenue and Huston Avenue run parallel to Broad Street in the eastern section of South Stroudsburg. Lee Avenue has twenty-three residences located along its course between Colbert Street, to the north, and Clermont Avenue, to the south (**Photographs 14-15**). The northern section of Lee Avenue consists of three-bay, two-and-a-half story frame dwellings built during the early twentieth century. Modest Minimal Traditional, Bungalow and vernacular homes are found south of Collins Street. Stokes Avenue was among the last streets to be developed. There are a number of one-story, three and four bay Ranch style homes built during the 1960s and 1970s. The Holy Cross Greek Orthodox Church is located at 135 Stokes Avenue and is a modest one-story gable front edifice which has been altered with replacement materials. There are twenty-two buildings located along Huston Avenue. These consist mostly of mid-to-late twentieth century single family dwellings, including Minimal Traditional, Cape Cod, Ranch, and vernacular styles (**Photograph 16**). Twenty-two buildings are found along Huston Avenue. These properties were among the last developed within South Stroudsburg. The street includes examples of common mid-to-late twentieth century style, including Ranch, Minimal Traditional and Cape Cod. The house at 120 Huston Avenue is a three-bay, one-and-a-half story Cape Cod with alterations (**Photograph 17**).

Bryant Street extends the entire width of the South Stroudsburg neighborhood and is composed almost exclusively of residential properties. The section of Bryant Street west of Park Avenue includes residences built from the early twentieth century through 2014. The majority of residences date to the 1920-1940 period and are reflective of prominent national architectural style from that time. Colonial Revival, Four Square and Bungalow are among the most common architectural styles found along Bryant Avenue (**Photographs 18-19**). A number of Dutch Colonial Revival style homes are set along Bryant Street. The house at 785 Bryant Street is a good representative example (**Photograph 20**). The three-bay, two-and-a-half story frame dwelling features a side gambrel roof, continuous shed roof dormer, and one-story wing. The house has been altered with modern siding, an asphalt shingle roof and window replacements. Many homes along Bryant Street incorporate multiple styles and design elements. The house at 764 Bryant Street features a Colonial Revival door surround and Bungalow style shed roof dormer (**Photograph 21**). Several mid-to-late twentieth century homes are interspersed along with the early twentieth century, including Minimal Traditional, Ranch and Contemporary styles (**Photograph 22**). The section of Bryant Street located east of Broad Street is referred to as East Bryant Street and was developed throughout the twentieth century. Bungalow, Colonial Revival, Tudor Revival, Minimal Traditional, and Ranch styles are found along East Bryant Street (**Photograph 23**).



The southwest section of South Stroudsburg features residential properties set along curvilinear roads with larger, varying lot sizes. This section includes Club Court, Clermont Avenue, Woodcliff Avenue, Morningside Avenue, Bryant Street, Sunset Lane and Highland Drive. This part of the neighborhood does includes residences built during the early-to-mid twentieth century, but was mostly developed during the mid-to-late twentieth century.

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Clermont Avenue, Sunset Lane, Woodcliff Avenue and Highland Drive are located in southwestern South Stroudsburg and are composed mainly of mid-to-late twentieth century residential properties. This was among the latest developed areas within the neighborhood. Clermont Avenue is composed of a small number of mid-and-late twentieth residences and several apartment complexes (**Photographs 24-25**). The apartment buildings are two-story, multiple bay, brick Colonial Revival style structures that were built during the 1950s (**Photograph 26**). A total of nine single family dwellings are found on Sunset Lane. These include late twentieth and early twenty-first century properties, including examples of the Ranch, Split Level and Contemporary styles.

Club Court features homes on varying sized lots and orientations toward the street. The homes along Club Court were built throughout the twentieth century and include architectural style from the period, including several Bungalow style homes (**Photograph 27**). The home at 50 Club Court is a good representative example of the Dutch Colonial Revival style with a gambrel roof. The house has a symmetrical design and features a finely detailed prominent centered gable along the façade (**Photograph 28**).

Morningside Avenue is located in the southern section of South Stroudsburg. The curving road is lined with a variety of early twentieth century homes, including examples of the Bungalow and Foursquare styles. The house at 14 Morningside Avenue is a good example of an early twentieth century Craftsman style residence, featuring a low pitched roof, flat roof dormer, cobblestone walls, exposed brackets, and full width porch with tapered posts (**Photograph 29**).

The South Stroudsburg neighborhood was established during the early twentieth century as a result of improved transportation and access between downtown Stroudsburg and the area south of McMichael Creek. Throughout the community modern intrusions can be found which compromise the overall integrity. The modern intrusions include examples of both residential and commercial development. Notably examples of modern commercial/industrial development include the Keller Williams Real Estate Building on Park Avenue and Econo Lodge along Park Avenue (**See Photographs 30 and 31**). The office building along Park Avenue opposite Morningside Drive is another modern intrusion along one of the main transportation corridors through the community (**See Photograph 32**). The office building along Broad Street is another modern intrusion along a largely residential street, as is the modern Pocono Record Building at the southeast corner of Lenox and Broad Streets (**See Photographs 33 and 34**). Modern residential intrusions can likewise be found at various locations through South Stroudsburg. Several modern residences have been built along Bryant Street, particularly at the west end (**See Photograph 35**). Late twentieth and early twentieth century residences can be found along Club Court, Sunset Lane, Clermont Avenue in the southwestern section of the neighborhood (**See Photographs 36 and 37**). Additional modern residences have been built at multiple locations in the eastern section of South Stroudsburg.

### Integrity Statement

In order to be considered eligible for the National Register, a property must retain a strong degree of integrity to demonstrate its historical significance. There are seven (7) aspects of integrity (location, design, setting, material, workmanship, feeling, and association) and a majority of those aspects must be retained to be considered eligible. South Stroudsburg retains its historic location and much of its historic setting, although the introduction of I-80 and loss of railroad lines diminishes the setting. The integrity of design, materials, and workmanship of the buildings within the neighborhood has been compromised by the loss of historic properties, alteration of buildings, and the introduction of modern structures. There are individual examples scattered throughout the neighborhood that do retain good integrity, but the overall sense of integrity has been compromised. Many residences within the community have been altered through the introduction of modern additions and use of modern replacement materials. The feeling and association of the community with its historic development has been somewhat impacted by the loss of buildings, introduction of modern properties, and development of modern transportation systems which have bisected the neighborhood and spurned modern expansion in the region.

## History and Significance (Item 39)

Provide an overview of the history of the property and its various resources. Do not substitute deeds, chapters from local history books, or newspaper articles. See page 14 of the Instructions for detailed directions. Continue on additional sheets as needed. Suggested outline for organizing this section:

- History [Summarize the evolution of the property from origin to present]
- Significance [Explain why the property is important]
- Context and Comparisons [Describe briefly similar properties in the area, and explain how this property compares]

The Borough of Stroudsburg was originally settled during the late eighteenth century by the Stroud family. The Stroud family laid out plans for the town in 1810. McMichael Creek provided water-power for sawmills, gristmills and other industrial operations. In 1815 Stroudsburg was incorporated as a borough and in 1836 became the county seat of Monroe County. During the mid-nineteenth century additional industrial operations were founded, including the Stroudsburg Woolen Mill. During the early twentieth century several silk mills were built, including the Monroe Silk Mills and Pocono Silk Mills. Between 1856 and the 1890s three railroads were built to the area and provided access to outside markets. Stroudsburg continued to experience growth throughout the late nineteenth and early twentieth centuries, due to its location along several important transportation corridors, industrial development and its position as a governmental center. The Borough of East Stroudsburg began as a manufacturing and railroad center and later included East Stroudsburg University. During the late nineteenth and early twentieth centuries the growth of the Pocono region as a popular vacation destination encouraged growth in and around Stroudsburg.

The first development on the south side of McMichael Creek (sometimes referred to as McMichael Creek or Pocono Creek) occurred during the mid-nineteenth century. In 1860 Charles S. Palmer owned a residence along the north side of present-day Storm Street (Waller 1860). Palmer was a local businessman and bridge contractor. He was also the grandfather of future United States Attorney General Mitchell Palmer (Eastman 1922: 320). In 1875 present-day South Stroudsburg was part of the Foxtown District and consisted of approximately seven structures located along present-day Storm Street (Beers 1875). The property owners included John B. Storm and S.L. Drake. John Brutzman Storm (1838-1901) was a lawyer and judge in Monroe County, Pennsylvania. He served as a member of the United States House of Representatives with the Democratic Party between 1871-1875 and 1883-1887 (Biographical Directory of the United States Congress 2015). In 1875 he occupied the former Charles Palmer residence and Storm Street was named in his honor.

The earliest recorded residential development planned as part of South Stroudsburg was the Simon Lee Tract. The Simon Lee Tract consisted of twenty-three residential lots along Colbert Street and Lee Avenue, just east of Broadway (present-day Broad Street). The Simon Lee Tract was surveyed by W.H. Edinger in 1896. The lots do not appear to have been built upon until the early twentieth century, based on available tax records. During the early twentieth century additional tracts were surveyed by private land owners in the South Stroudsburg neighborhood. In general, these were small scale undertakings. Residential lots continued to be surveyed, planned and constructed throughout the twentieth century with a lack of regularity or overall design which resulted in a diversity in construction dates and architectural styles.

South Stroudsburg opened to development during the early twentieth century as a result of transportation expansion, notably the construction of the street railway from Stroudsburg to the Delaware Water Gap area. The area had previously witnessed development with the construction of the passenger station along Storm Street during the 1880s. During the early 1900s developers made plans for housing along and adjacent to the two major roads that connected to downtown Stroudsburg: Park Avenue and Broad Street. The greatest period of development in South Stroudsburg took place between 1907 and 1912 and was confined largely to Broad Street, Barry Street, Lee Avenue and Park Avenue. During the 1920s the largest concentration of development occurred along Bryant Street, with approximately twenty-five homes being built. Between 1930 and 1950 most development was confined to Lee Avenue, Bryant Street and Clermont Avenue. The southwest section of South Stroudsburg experienced development at various times throughout the twentieth and early twenty-first centuries.

South Stroudsburg benefited greatly from transportation improvements during the late nineteenth and early twentieth centuries. The New York, Susquehanna and Western Railway (NYS&W) established a passenger station near the intersection of Storm and S. 5<sup>th</sup> Streets (present-day Storm Street and Broad Street/SR 191) during the mid-1880s (**See Plate 1**). The station provided access to Stroudsburg via a bridge over McMichael Creek (**See Plate 2**). The NYS&W,



also known as the Susie-Q, operated over 500 miles of track in New York, Pennsylvania, and New Jersey. The NYS&W was formed in 1881 from the merger of several smaller railroads. In 1898 the NYS&W was leased by the Erie Railroad which valued the company's connections within the anthracite coal mining region of Pennsylvania. Passenger service between Stroudsburg and New York City began in the fall of 1882 and continued until 1941. The Wilkes-Barre & Eastern Railroad (WB&E RR) was organized in 1892 and was a wholly owned subsidiary of the New York, Susquehanna & Western Railroad. The WB&E RR was created to provide the NYS&W with access to the coalfields in the Wilkes-Barre area. The railroad was built in 1892 and a passenger station was built.

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The Stroudsburg & Water Gap Street Railway opened for service on July 4, 1906. The railway was four miles in length and connected Stroudsburg with the scenic views of the Delaware Water Gap. The railway was also referred to as the Mountain View Line (Street Railway Journal 1907: 75). The construction of the bridge to carry the railway over McMichael Creek opened Park Avenue and South Stroudsburg to development. In 1911 the railway was merged with another line to form the Stroudsburg, Water Gap & Portland Railway (incorporated on April 1, 1911) and created a 10-mile line between Stroudsburg to Portland (Nicholas 1914: 287). The company was formed as a consolidation of the Stroudsburg & Water Gap Street Railway and the Water Gap & Portland Street Railway. The company's office was located in Stroudsburg and a car barn was located along Park Avenue, near Robeson Street. During the early twentieth century John B. Reynolds served as the company's president. In 1917 the company was reorganized as the Stroudsburg Traction Company. In 1925 the company incorporated buses as part of its operations. Increased automobile use challenged the feasibility of continued electric street railway. In 1928 the street railway was abandoned (Hilton and Doe 1960: 301).

The construction of the Stroudsburg & Water Gap Railway bridge over McMichael Creek and NYS&W Railroad created improved access to the areas to the immediate south of Stroudsburg and contributed to development. In 1907 plans were developed for Highland Park, which encompassed the section of South Stroudsburg west of Broad Street. The plan was surveyed in November and December 1907 by Westbrook & Voss, civil engineers from Stroudsburg, Pennsylvania. The Lot Plan of Highland Park consisted primarily of rectangular residential lots of varying sizes along Park Avenue, Barry Street, Broad Street, Clermont Avenue, Bryant Street, Woodcliff Avenue, Club Court, Hillside Avenue, and Morningside Avenue. The Stroudsburg and Water Gap Street Railway passed over McMichael Creek and along Park Avenue in Highland Park.

Industrial development in South Stroudsburg can be traced to the early twentieth century. James M. Kistler established the Black Diamond Vinegar Works along the north side of Storm Street during the early twentieth century. In 1917 the company was incorporated and A.S. Frisbie served as president. The company manufactured apple cider and cider vinegar, but ceased operations during the 1930s. Beginning in 1943 the site operated as the Belle Mead Winery and Distillery. The Stroudsburg Creamery Company also established a factory along Storm Street by the early 1920s (Sanborn 1923: 16). The NYS&W maintained its passenger station. The Stroudsburg Water Gap & Portland Railroad Company continued operations along Park Avenue, although the company had transitioned to a bus operator by the 1920s. Most of the development within the neighborhood was found along Broad Street, although Berry Street, Colbert Street, Lee Avenue had experienced housing construction.

The population residing in South Stroudsburg during the early-to-mid twentieth century comprised a wide range of occupations and economic levels. The areas east of Broad Street included a larger representation of the lower middle and working classes. In 1941 the inhabitants of Colbert Street included an assembler, welder, linoleum layer, machinist, chauffeur and jeweler. That same year Collins Avenue residents included a laborer, automobile repairman, chauffeur, and several Holland Manufacturing Company employees. The area of South Stroudsburg west of Park Avenue included a greater concentration of the upper and lower middle classes. Prominent members of the legal and business community resided in this area. The residents of Bryant Street in 1941 included several lawyers, the assistant treasurer of the Monroe Silk Mills, and the Secretary of Stroudsburg Security Trust Company. In 1941 Lewis Wallace, owner of the Wallace Hardware Company; Ernest Wyckoff, president of A.B. Wyckoff (dry goods); Fred Palmer, an executive vice president Stroudsburg Security Trust Company; A.M. Barber, district State Health Officer; and H.E. Burris, superintendent of the Pennsylvania Department of Highways, all lived on Bryant Street.

South Stroudsburg includes a variety of building types and architectural styles. The mainly residential community was developed during the early twentieth century and embodies many of the prominent national styles of the period. In particular, the Foursquare, Colonial Revival, and Bungalow styles are found within South Stroudsburg. The American

Foursquare is a subtype of the Prairie style and is typified by its simple square or rectangular plan with a low-pitched, hipped roof and a symmetrical façade. Usually with a central front door, the Foursquare style house typically has a raised front porch with square posts resting on masonry piers or foundation (McAlester 1988: 439-440). The Colonial Revival style uses aspects of previous colonial prototypes and first became popular following the 1876 American Centennial. Twentieth-century Colonial Revival houses usually have symmetrical facades with a central door flanked by double-hung sash windows with multi-pane glazing. Usually the front door is accentuated with a pediment or other architectural treatment (McAlester 1988: 321). The Dutch Colonial Revival type, a subtype of the Colonial Revival style, can be found along Bryant Street. The Dutch Colonial style is easily recognizable by its incorporation of gambrel roofs. The Bungalow style (1890 to the 1920s) was inspired by the Arts and Crafts Movement of the 1880s in England. Bungalow style residences, noted for their small size and inexpensive construction, quickly became the dominant style for throughout the United States from 1905 until the mid-1920s (McAlester 1995: 454). Primary features of the Bungalow include one or one-and-a-half stories, low pitched gable roofs, overhanging eaves, a shaded porch, and were primarily constructed of common local materials (King 1995: 142). The decade of the 1920s saw the biggest boom as the suburban population increased.

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Housing construction within South Stroudsburg continued throughout the mid to late twentieth century and popular period designs and styles, such as Minimal Traditional, Cape Cod, and Ranch, can be found in the community. The Minimal Traditional style house was a dominant form in American tract and subdivision housing from the 1940s into the 1950s. Generally ranging from one-story to one-and-a-half stories, Minimal Traditional houses usually followed simple square, rectangular, or L-shaped floor plans. Usually with little ornamentation, this type often had simple entry porches or stoops. The Ranch style house was created in the mid-1930s by several California architects (McAlester 1988: 479). The type became a dominant style throughout the country during the 1950s and 1960s. A typical feature of the Ranch style is its low, long profile, many times accentuated with overhanging eaves and long front porches. The rectangular floor plan enabled a wide versatility in room size and use.

The public improvement projects of the twentieth century resulted in the loss of several buildings near McMichael Creek. The construction of I-80 during the late 1950s had a major impact on South Stroudsburg. The site of the J.B. Storm residence and other late nineteenth century properties were demolished as a result of the realignment of Broad Street/SR 191 and the development of I-80. The alignment of I-80 generally followed the existing former railroad line, but did result in the loss of several buildings and structures adjacent to McMichael Creek. The remainder of the neighborhood was physically separated from the more densely populated residential sections of South Stroudsburg. Broad Street and Park Avenue continued to provide access between the residential neighborhood and downtown Stroudsburg.

## NATIONAL REGISTER EVALUATION

The South Stroudsburg neighborhood was evaluated according to the criteria set forth in *National Register Bulletin 15: "How to Apply the National Register Criteria for Evaluation."* The property does not appear to be associated with any important historic events or trends under Criterion A. South Stroudsburg is primarily a residential neighborhood of single family residences and duplex, but also includes a small number of commercial properties. The neighborhood developed from the late nineteenth and throughout the twentieth century, but is not a good representative example of a planned suburban development from any particular period. As evaluated under Criterion B, South Stroudsburg is not known to be associated with any individuals of local, state, or national significance. While many local businessmen and politicians resided in South Stroudsburg, the neighborhood is not noted for this association. As evaluated under Criterion C, South Stroudsburg does not appear to be eligible for the National Register. The neighborhood lacks the overall cohesiveness to be considered an historic district. The neighborhood includes a mixed collection of architectural styles representing the period from the late nineteenth through the mid twentieth centuries. In addition, modern intrusions, such as I-80, contribute to the lack of cohesiveness. A number of representative examples of residences from various time periods and architectural styles can be found at different locations throughout the neighborhood, particularly along Bryant Avenue, but overall the community lacks integrity and distinction as an historic district. Archaeological investigations have not been conducted on the property; therefore, the resource's eligibility under Criterion D (potential to yield information important to history or prehistory) cannot be assessed at this time. South Stroudsburg is recommended not eligible for the National Register of Historic Places.



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**Photograph 1:** View looking northeast at residences along the east side of Broad Street from Lenox Street.



**Photograph 2:** View looking northwest along Broad Street from Robeson Street.





**Photograph 3:** View looking northwest along Broad Street from intersection with Bryant Street.



**Photograph 4:** View looking southwest along Broad Street from intersection with Bryant Avenue.



**Photograph 5:** Looking southwest at 114 Park Avenue, formerly the car barn for the Stroudsburg & Water Gap Street Railway.



**Photograph 6:** Looking south along Park Avenue from Robeson Street.





**Photograph 7:** North and west elevations of 134 Park Avenue, formerly the Richard Klofach Funeral Home.



**Photograph 8:** View looking southwest at residences along Park Avenue near the intersection with Morningside Avenue.





**Photograph 9:** View looking east along Park Avenue toward the intersection of with SR 191 (Broad Street).



**Photograph 10:** View looking northeast along Lenox Street from Park Avenue.





**Photograph 11:** View looking southwest along Colbert Street.



**Photograph 12:** View looking southeast along Collins Street.





**Photograph 13:** View looking southwest along Collins Street from Stokes Avenue.



**Photograph 14:** View looking at northeast side of Lee Avenue, south of Collins Street.





**Photograph 15:** View looking southwest along Lee Avenue.



**Photograph 16:** View looking northwest along Huston Avenue, north of East Bryant Street.





**Photograph 17:** View looking east at 120 Huston Avenue.



**Photograph 18:** Looking southwest at residences along Bryant Street.





**Photograph 19:** View looking northwest at residences located along the north side of Bryant Street.



**Photograph 20:** East and north elevations of 785 Bryant Street.





**Photograph 21:** View looking northwest at 764 Bryant Street.



**Photograph 22:** View looking northwest at residence at the western end of Bryant Avenue.





**Photograph 23:** View looking southwest along East Bryant Street from Stokes Avenue.



**Photograph 24:** View looking west along Clermont Avenue from intersection with Stokes Avenue.





**Photograph 25:** View looking east along Clermont Avenue from Stokes Avenue.



**Photograph 26:** View looking southeast at mid-20<sup>th</sup> century apartment building located along Clermont Avenue.





**Photograph 27:** View looking southwest along Club Court.



**Photograph 28:** North and west elevations of 50 Club Court.





**Photograph 29:** View looking southeast at residence located at 14 Morningside Avenue.



**Photograph 30:** View looking southeast at the modern Keller Williams Real Estate Building at 404 Park Avenue.





**Photograph 31:** Looking northeast at the modern Sunoco Service station and Econo Lodge along Park Avenue



**Photograph 32:** Looking northeast from Morningside Avenue toward a modern office building along Park Avenue.





**Photograph 33:** Looking southwest at late 20<sup>th</sup> century commercial building along the west side of Broad Street.



**Photograph 34:** View of the modern Pocono Record Building at the intersection of Lenox and Broad Streets.





**Photograph 35:** View looking northwest along Bryant Street at modern residence.



**Photograph 36:** View of modern residence located along the north side of Club Court.



**Photograph 37:** Looking southeast at late 20<sup>th</sup> century residence located along the south side of Club Court.



# Historic Resource Survey Form

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION  
 Pennsylvania State Historic Preservation Office (PA SHPO)

Key # _____
ER# _____ 2013-8131-089 _____

## Name, Location and Ownership *(Items 1-6; see Instructions, page 4)*

**HISTORIC NAME:** Howard Palmer Property

**CURRENT/Common NAME:** 121 Myrtle Street

**STREET ADDRESS:** 121 Myrtle Street, Stroudsburg, PA **ZIP** 18360

**LOCATION:** West side of Myrtle Street immediately southeast of Interchange 46 of Interstate 80

**MUNICIPALITY:** Stroud Township **COUNTY:** Monroe

**TAX PARCEL #/YEAR:** 17639008874996 **USGS QUAD:** Stroudsburg, PA

**OWNERSHIP**  **Private**  
 **Public/Local**  **Public/County**  **Public/State**  **Public/Federal**

**OWNER NAME/ADDRESS:** Jimmy Schlier/ P.O. Box 465, Tannersville, PA 18372

**CATEGORY OF PROPERTY**  **Building**  **Site**  **Structure**  **Object**  **District**

**TOTAL NUMBER OF RESOURCES:** 7

## Function *(Items 7-8; see Instructions, pages 4-6)*

Historic Function	Subcategory	Particular Type
<u>Domestic</u>	<u>single dwelling</u>	<u>house</u>
<u>Domestic</u>	<u>secondary structure</u>	<u>garage</u>
<u>Domestic</u>	<u>secondary structure</u>	<u>spring house</u>
<u>Domestic</u>	<u>secondary structure</u>	<u>well</u>
Current Function	Subcategory	Particular Type
<u>Vacant</u>	<u>not in use</u>	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

## Architectural/Property Information *(Items 9-14; see Instructions, pages 6-7)*

### ARCHITECTURAL CLASSIFICATION

Craftsman \_\_\_\_\_

Other \_\_\_\_\_

### EXTERIOR MATERIALS and STRUCTURAL SYSTEM

Foundation Concrete \_\_\_\_\_

Walls Asphalt \_\_\_\_\_

Roof Asphalt \_\_\_\_\_

Other \_\_\_\_\_

Structural System Frame \_\_\_\_\_

**WIDTH:** (feet) or 3 (# bays) **DEPTH:** (feet) or 2 (# rooms) **STORIES/HEIGHT:** 2

**Property Features** (Items 15-17; see Instructions, pages 7-8)

Setting: suburban

**Ancillary Features**

_____	_____	_____
_____	_____	_____
_____	_____	_____

Acreage: 4.7 (round to nearest tenth)

**Historical Information** (Items 18-21; see Instructions, page 8)

Year Construction Began: 1920  Circa      Year Completed \_\_\_\_\_  Circa

Date of Major Additions, Alterations \_\_\_\_\_  Circa      \_\_\_\_\_  Circa      \_\_\_\_\_  Circa

Basis for Dating  Documentary     Physical

Explain: Based upon background literature search and physical inspection

Cultural/Ethnic Affiliation(s): N/A

Associated Individual(s): Howard Palmer

Associated Event(s): N/A

Architect(s): Unknown

Builder(s): Unknown

**Submission Information** (Items 22-23; see Instructions, page 8)

Previous Survey/Determinations: None

Threats  None     Neglect     Public Development     Private Development     Other

Explain: The property is located within the APE for the SR 0080-17M, Reconstruction Project

This submission is related to a  non-profit grant application       business tax incentive  
 NHPA/PA History Code Project Review     other

**Preparer Information** (Items 24-30; see Instructions, page 9)

Name & Title: Jerry A. Clouse, M.A., Architectural Historian

Date Prepared: May 23, 2016

Project Name: SR 0080-17M, Reconstruction Project

Organization/Company: McCormick Taylor, Inc.

Mailing Address: 5 Capital Drive, Suite 400, Harrisburg, Pennsylvania 17110

Phone: 717-540-6040

Email: jaclouse@mccormicktaylor.com



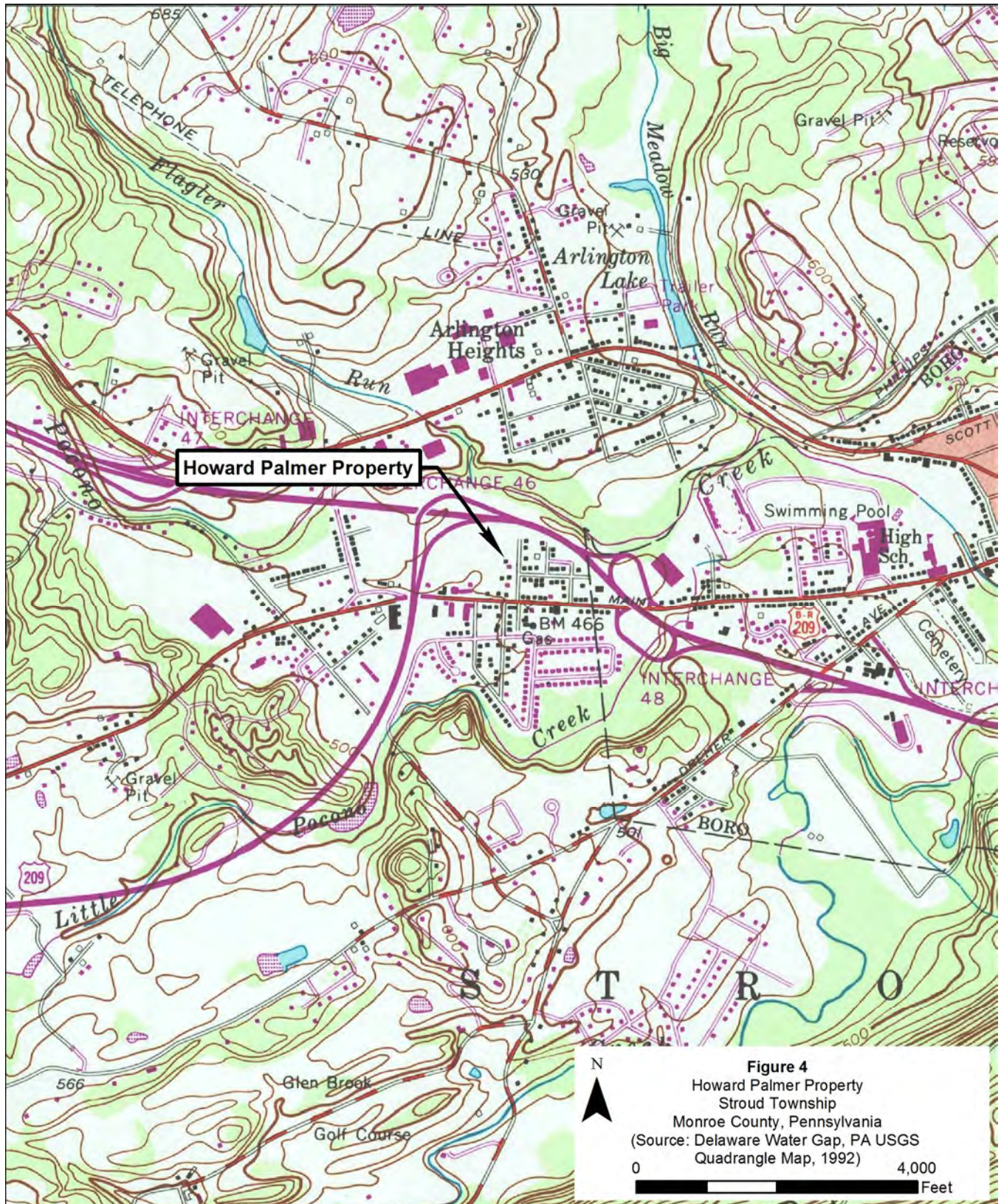




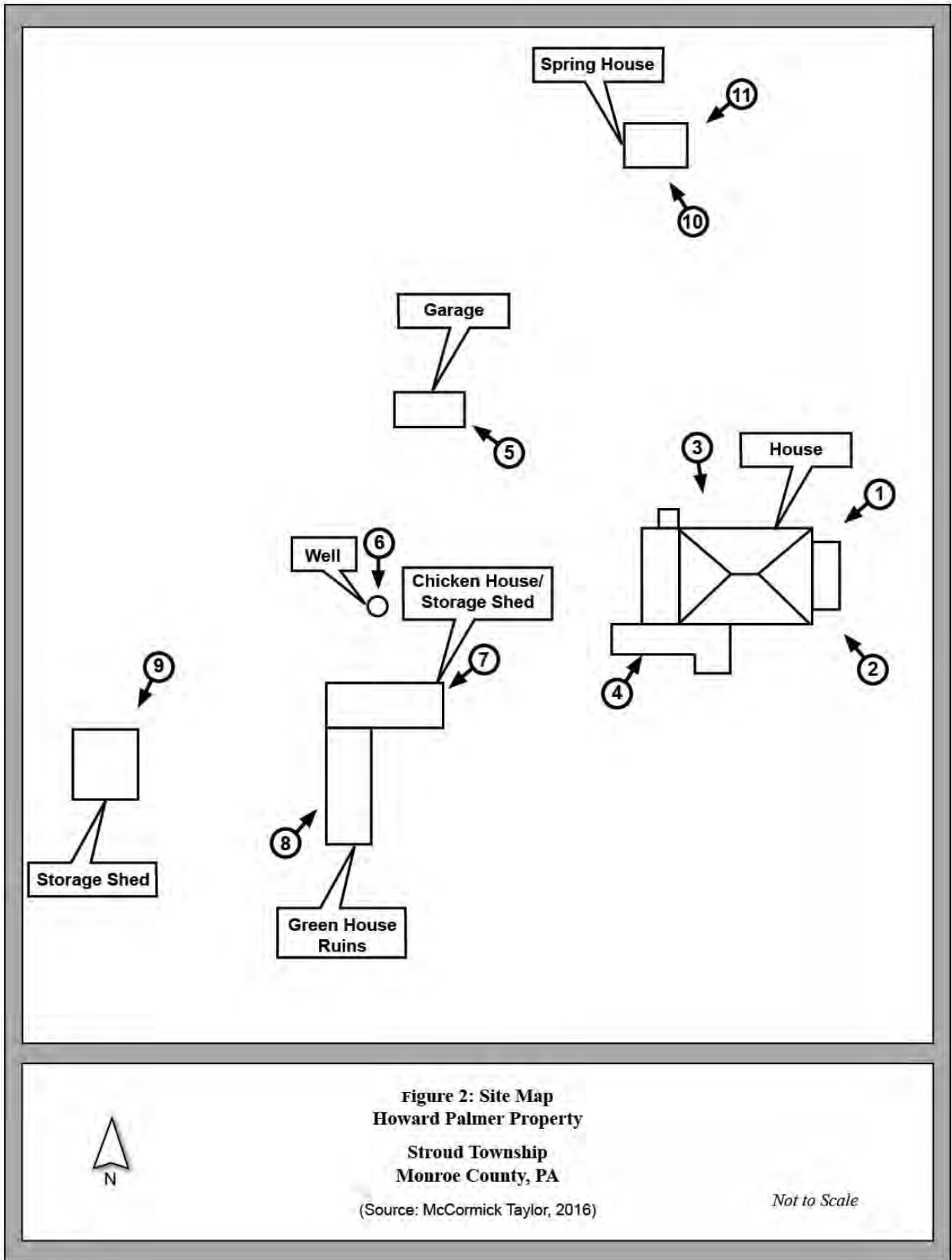


**Location Map** (Item 34)

See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.







**Figure 2: Site Map**  
**Howard Palmer Property**  
**Stroud Township**  
**Monroe County, PA**

(Source: McCormick Taylor, 2016)

*Not to Scale*











## Physical Description and Integrity (Item 38)

Provide a current description of the overall setting, landscape, and resources of the property. See page 13 of the Instructions for detailed directions. Continue on additional sheets as needed. Suggested outline for organizing this section:

- Introduction [summarize the property, stating type(s) of resource(s) and function(s)]
- Setting [describe geographic location, streetscapes, natural/man-made landscape features, signage, etc.]
- Exterior materials, style, and features [describe the exterior of main buildings/resources]
- Interior materials, style, and features [describe the interior of main buildings/resources]
- Outbuildings/Landscape [describe briefly additional outbuildings/landscape features found on property, substitute Building Complex Form if preferred; See Instructions, page 18]
- Boundaries [explain how/why boundaries chosen, such as historic legal parcel, visual natural features such as tree lines, alley separating modern construction, etc.]
- Integrity [summarize changes to the property and assess how the changes impact its ability to convey significance]

### Setting

The Howard Palmer Property has a long set-back from the west side of Myrtle Street. Interstate 80 is located to the north of the Palmer Property, and the Pokona neighborhood is located to the east and south of the property. The 4.70-acre property is set on a wooded lot surrounded by buildings, structures, and ruins of other structures associated with the property in Stroud Township. According to Howard Palmer's obituary the property was a summer recreation area for about 30 years. The house, garage, chicken house, greenhouse, and other outbuildings appear to have been abandoned for fifteen to twenty years.

### House

The Howard Palmer house is a c. 1920, three-bay, two-story, gable-front, frame house resting on a raised, poured concrete foundation (**See Photographs 1 and 2**). The house exhibits characteristics of the Craftsman style including exposed rafter tails and fish scale, slate roof shingles. The house features gable-roof wall dormers breaking through the open eaves along each side. Both the front and rear elevations of the house are distinguished by their clip-gable roofs. There is a one-story shed-roof addition on a concrete foundation to the rear elevation, evidently contemporary with the main block. There is also a small shed-roof addition at the northwest corner of the addition.

The walls of the house are sheathed with staggered, rectangular, striated asphalt shingles. The house has a full-width, hipped-roof front porch. The porch rests on rock-face concrete piers at each end, but a brick pier has been added near the center of the porch. The porch is supported with turned wood posts, but there is no evidence that a balustrade connected the posts. The house's fenestration has been covered over with plywood, but it appears to have consisted of both single and paired, double-hung sash windows (**See Photograph 3**). There are two covered openings in the basement level along each eaves end elevation. There is an entrance at the southwest corner of the rear addition, and a wooden deck and ramp were added at this location in the late twentieth century (**See Photograph 4**). A corbelled brick chimney is centered on the ridgeline.

### Garage

A two-bay, one-story frame garage stands northwest of the house (**See Photograph 5**). The building rests on a low cobblestone foundation and has an asphalt shingle roof. The garage had two sliding doors along the front, and a paired, fixed-sash window along the east and west elevations. The building is sheathed with a mixture of German siding and vertical board siding.

### Well

A circular, cobblestone well is located between the house and a grouping of outbuildings (**See Photograph 6**). The well is covered with a square concrete pad.

Key # _____
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### **Chicken House/Storage Shed**

A combination chicken house and storage shed is located southwest of the house (**See Photograph 7**). The frame, shed-roof structure was sheathed with red, asphalt shingles and the roof was covered with asphalt tar paper. The building rests on a low cobblestone foundation and has become highly deteriorated.

### **Greenhouse Ruins**

There are the ruins of a long, ell-shaped structure which appears to have been a greenhouse (**See Photograph 8**). Part of the structure was below ground level, and the structure rested on a low concrete wall. Although all or most of the glass is gone, some of the metal roof framing system remains intact.

### **Storage Shed Ruins**

Part of the roof and sides of a rectangular storage shed remain intact (**See Photograph 9**). The structure rested on a cobblestone wall two-to-three feet in height.

### **Spring House**

A concrete and stone spring house stands north of the house (**See Photograph 10**). It has a concrete slab roof and a single board and batten door opens along the south elevation. There is a single small window on the east elevation which is covered with a metal grate (**See Photograph 11**). There is a concrete trough along one of the interior walls with a drain opening along the east elevation.

### **Integrity**

Overall, the Howard Palmer Property has lost integrity through neglect that has resulted in the loss of key buildings and structures on the property. Only vestiges of the greenhouse and storage shed remain, and the chicken house/storage shed is greatly deteriorated. The house itself retains a moderate degree of integrity, but the windows and doors have been covered over preventing a good assessment of how intact these features are. The property no longer retains sufficient integrity to reflect its heyday as a summer recreation center.



## History and Significance (Item 39)

Provide an overview of the history of the property and its various resources. Do not substitute deeds, chapters from local history books, or newspaper articles. See page 14 of the Instructions for detailed directions. Continue on additional sheets as needed.

Suggested outline for organizing this section:

- History [Summarize the evolution of the property from origin to present]
- Significance [Explain why the property is important]
- Context and Comparisons [Describe briefly similar properties in the area, and explain how this property compares]

The Howard Palmer Property can be traced back to 1907 when Cicero Gearhart and wife Blanche deeded two tracts of land in Stroud Township to William Dolby Palmer (Monroe County Deed Book 62: 671). One tract was for 70 acres and the other, three acres. In 1912 William Dolby Palmer sold 12 acres of the Gearhart tract to Howard H. Palmer (Monroe County Deed Book 71: 616). (William Dolby Palmer was a realtor and evidently not related to Howard H. Palmer.) In addition, in 1919 David J. Griffiths and wife Eugenie sold 13 contiguous lots in “Pokona Suburb” to Howard H. Palmer (Monroe County Deed Book 80: 625). These too were located in Stroud Township. The 1920 population census for Stroud Township notes Howard H. Palmer, aged 43, as a farmer. Also in his household was his wife Helen, aged 32, and their two sons, Robert, aged 9, and Howard H., aged 2 years. The 1930 population census for Stroud Township lists Howard Palmer, aged 53, as a widowed farmer. In his household are three sons, Howard, James, and Norman.

The subdivision maps for Stroudsburg located at the Monroe County Court House include a Map of Pokona Suburb. It shows the approximately 200-lot subdivision as surveyed in 1902 by J. Appenzeller with Griffith & Stocker as managers. At that time there is no address for 121 Myrtle Street, but Howard Palmer evidently created his property from the land he purchased in 1912 and the lots he purchased in 1919.

Howard H. Palmer was born in 1876 in White Haven, Pennsylvania, and died in 1955 in Stroudsburg. His occupation was greenhouse proprietor (Palmer Family file at Monroe County Historical Association). Howard’s obituary in the Stroudsburg August 6, 1955 edition of *The Daily Record*, notes his address as 113 Myrtle Street. It also stated that he was the Stroud Township tax collector for eight years and that he had operated Palmer’s Grove, a noted picnic outing and summer recreation center for 30 years. He had also operated a greenhouse for flowers, plants and shrubbery for 40 years. No additional information on Palmer’s Grove was found at the Monroe County Historical Society.

Howard Palmer bequeathed to his wife Edna a tract known as Palmer’s Grove, together with a large field west of the Grove and his real estate north of said Grove (Monroe County Will Book 25: 41). In 1959 Edna Palmer, widow of Howard H. Palmer, Sr., deeded tracts, including Palmer’s Grove, to Howard H. Palmer, Jr. (Monroe County Deed Book 275: 318). This property included part of the same premises that David J. Griffith and William Dolby Palmer had deeded to Howard H. Palmer, Sr. earlier. In 1995 the property went out of the Palmer family name when the sons of Howard H. Palmer, Jr., late of 113 Myrtle Street, sold the property to Jimmy A. Schlier (Monroe County Deed Book 2020: 3151).

## National Register of Historic Places Evaluation

The Howard Palmer Property was evaluated according to the criteria set forth in *National Register Bulletin 15: “How to Apply the National Register for Evaluation.”* The property does not appear to be associated with any important historic events or trends under Criterion A. Although the property was associated with Palmer’s Grove, an early twentieth century, local summer picnic and recreation facility, its size and layout do not appear to have been significant to the Stroudsburg area. In addition, there are no structures or landscape features retaining sufficient integrity to represent its recreational history. As evaluated under Criterion B, the Palmer House property is not known to be associated with any individuals of local, state, or national significance. As evaluated under Criterion C, the Howard Palmer Property is not eligible for the

National Register of Historic Places. The c. 1920 Palmer House is a representative example of a house with Craftsman style elements, but it does not contain the elaborate porch designs typically associated with this style. The Palmer house is not a distinctive or noteworthy example of the Craftsman style. Archaeological investigations have not been conducted on the property; therefore, the resource's eligibility under Criterion D (potential to yield information important to history or prehistory) cannot be assessed at this time. The Howard Palmer Property is recommended not eligible for the National Register of Historic Places.

Key # _____
ER# _____ 2013-8131-089 _____

### **Bibliography**

*City Directory of Stroudsburg, East Stroudsburg & Delaware Water Gap.* Stroudsburg, Pennsylvania: Times-Democrat, 1928.

McAlester, Virginia and Lee McAlester. *A Field Guide To American Houses.* New York: Alfred A. Knopf, 1988.

Monroe County Deed Book 62: 671; 71: 616; 80: 625; 275: 318; 2020: 3151.

Obituaries, *The Daily Record*, Stroudsburg, Pennsylvania, August 6, 1955.

Palmer Family File, Monroe County Historical Society.

United States Census Bureau. *1920 United States Federal Census.* On File at the Harrisburg State Museum, 1920.

United States Census Bureau. *1930 United States Federal Census.* On File at the Harrisburg State Museum, 1930.





**Photograph 1:** East and north elevations of the Palmer House.



**Photograph 2:** East and south elevations of the Palmer House.





**Photograph 3:** View of the north elevation of the Palmer House.



**Photograph 4:** View looking northeast at the west and south elevations of the Palmer House.





**Photograph 5:** View looking northwest at the south and east elevations of the garage.



**Photograph 6:** View looking south at the circular, cobblestone well is located west of the house.





**Photograph 7:** View looking southwest at the Chicken House/Storage Shed.



**Photograph 8:** View looking northeast at the greenhouse ruins.





**Photograph 9:** View of the storage shed ruins.



**Photograph 10:** View looking northwest at the spring house.





**Photograph 11:** View looking southwest at the spring house.



# Historic Resource Survey Form

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION  
 Pennsylvania State Historic Preservation Office (PA SHPO)

Key # <u>038599</u>
ER# <u>2013-8131-089</u>

## Name, Location and Ownership *(Items 1-6; see Instructions, page 4)*

**HISTORIC NAME:** Mengle House

**CURRENT/Common NAME:** 3516 Pocono Park Road

**STREET ADDRESS:** 3516 Pocono Park Road, Stroudsburg, PA **ZIP** 18360

**LOCATION:** Located at the northeast corner of Pocono Park Dr. and Bridge St., approximately 575 feet west of SR 209 and 900 feet south of I-80W

**MUNICIPALITY:** Stroud Township **COUNTY:** Monroe

**TAX PARCEL #/YEAR:** 17639007772516 **USGS QUAD:** Stroudsburg, PA

**OWNERSHIP**  **Private**  
 **Public/Local**  **Public/County**  **Public/State**  **Public/Federal**

**OWNER NAME/ADDRESS:** Susan Henning; 3516 Pocono Park Road, Stroudsburg, 18360

**CATEGORY OF PROPERTY**  **Building**  **Site**  **Structure**  **Object**  **District**

**TOTAL NUMBER OF RESOURCES:** 3

## Function *(Items 7-8; see Instructions, pages 4-6)*

Historic Function	Subcategory	Particular Type
<u>Domestic</u>	<u>Single Dwelling</u>	<u>Residence</u>
<u>Domestic</u>	<u>Secondary Structure</u>	<u>Cottage</u>
<u>Domestic</u>	<u>Secondary Structure</u>	<u>Stone Cellar</u>
_____	_____	_____
Current Function	Subcategory	Particular Type
<u>Domestic</u>	<u>Single Dwelling</u>	<u>Residence</u>
<u>Domestic</u>	<u>Secondary Structure</u>	<u>Cottage</u>
<u>Domestic</u>	<u>Secondary Structure</u>	<u>Stone Cellar</u>
_____	_____	_____

## Architectural/Property Information *(Items 9-14; see Instructions, pages 6-7)*

### ARCHITECTURAL CLASSIFICATION

Bungalow \_\_\_\_\_

\_\_\_\_\_ \_\_\_\_\_

### EXTERIOR MATERIALS and STRUCTURAL SYSTEM

Foundation Concrete

Walls River-stone and Vinyl siding

Roof Asphalt shingle

Other \_\_\_\_\_

Structural System Frame

**WIDTH:** (feet) or 3 (# bays) **DEPTH:** (feet) or 3 (# rooms) **STORIES/HEIGHT:** 1 1/2

**Property Features** (Items 15-17; see Instructions, pages 7-8)

Setting: Urban

Ancillary Features

\_\_\_\_\_

Acreage 0.5 (round to nearest tenth)

**Historical Information** (Items 18-21; see Instructions, page 8)

Year Construction Began: 1923  Circa      Year Completed       Circa

Date of Major Additions, Alterations 1940  Circa      \_\_\_\_\_  Circa      \_\_\_\_\_  Circa

Basis for Dating     Documentary     Physical

Explain: Based upon a physical inspection and secondary sources.

Cultural/Ethnic Affiliation(s): None

Associated Individual(s): Hiram K. and Anna M. Mengle; the Rice family

Associated Event(s): None

Architect(s): Unknown

Builder(s): Unknown

**Submission Information** (Items 22-23; see Instructions, page 8)

Previous Survey/Determinations: Monroe County Historic Sites Survey/ No Determination

Threats     None     Neglect     Public Development     Private Development     Other

Explain: The property is located within the APE established for the proposed ST 0080-17M, Interstate 80 (I-80)

Reconstruction Project

This submission is related to a     non-profit grant application                       business tax incentive  
     NHPA/PA History Code Project Review     other

**Preparer Information** (Items 24-30; see Instructions, page 9)

Name & Title: Joseph Jasinski, M.A. and Jerry Clouse, M.A.

Date Prepared: 5/3/2016

Project Name: SR 0080-17M, Interstate 80 (I-80) Reconstruction Project

Organization/Company: McCormick Taylor, Inc.

Mailing Address: 5 Capital Drive, Suite 400, Harrisburg, Pennsylvania 17110

Phone: 717-540-6040

Email: JAJasinski@mccormicktaylor.com



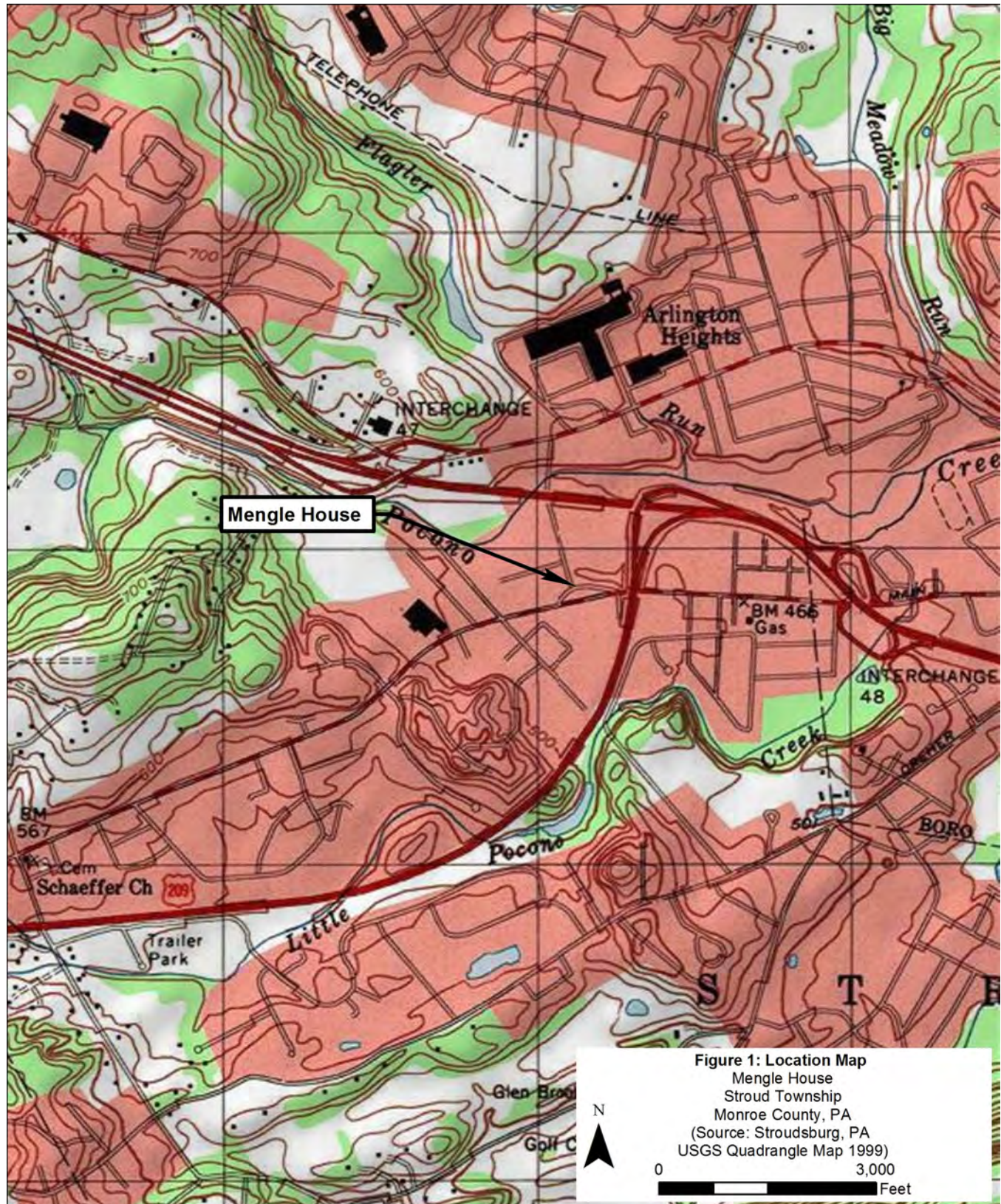






**Location Map** (Item 34)

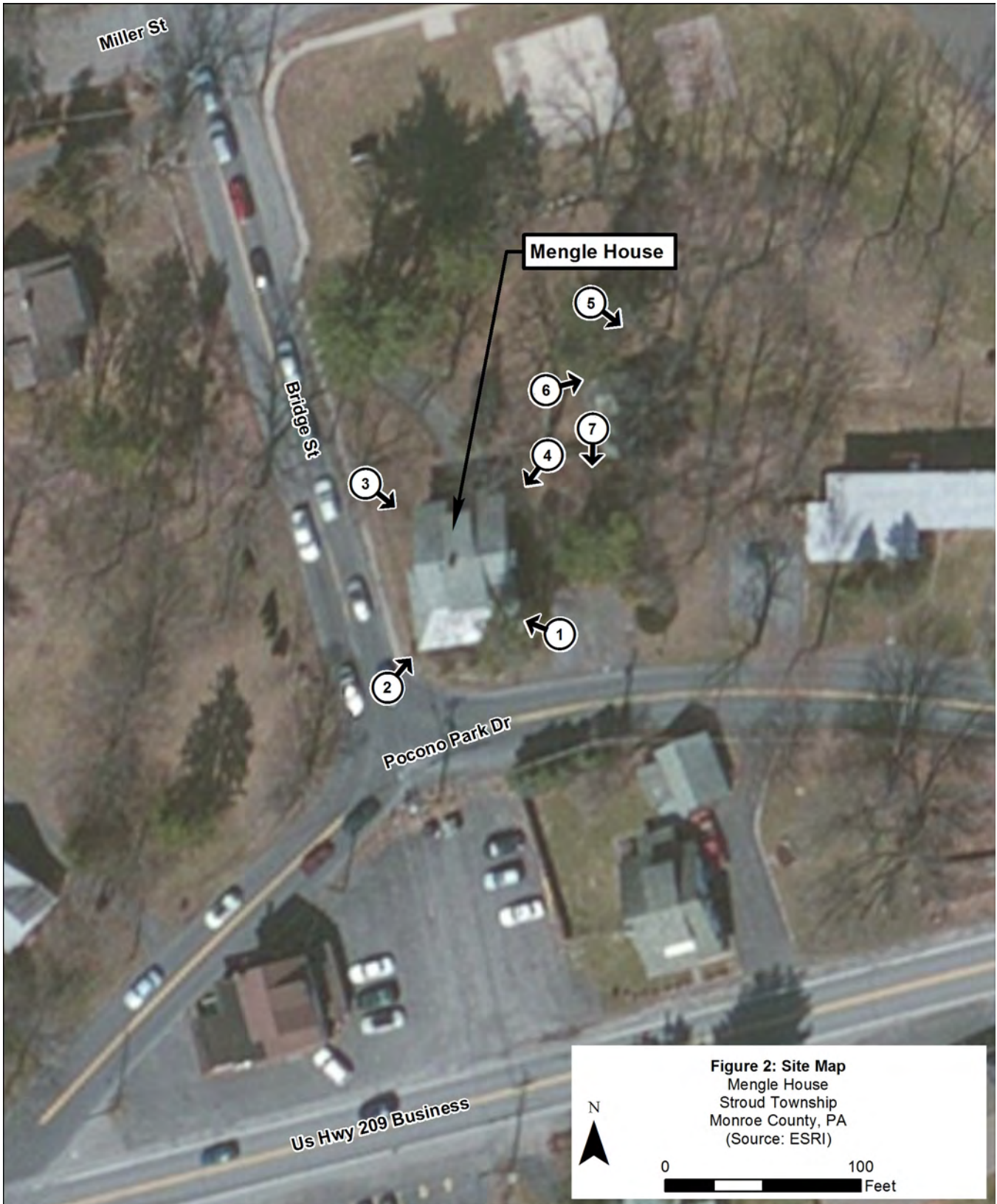
See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.





### Site Plan (Item 35)

See page 11 of the Instructions for more information regarding the floor plan. Provide a floor plan for the primary buildings, showing all additions. Label rooms and note important features. Note the date of additions. Include a North arrow and a scale bar (note if scale is approximate) or indicate width/depth dimensions. This sheet may be used to sketch a floor plan or another map/plan may be substituted.





## Physical Description and Integrity (Item 38)

Provide a current description of the overall setting, landscape, and resources of the property. See page 13 of the Instructions for detailed directions. Continue on additional sheets as needed. Suggested outline for organizing this section:

- Introduction [summarize the property, stating type(s) of resource(s) and function(s)]
- Setting [describe geographic location, streetscapes, natural/man-made landscape features, signage, etc.]
- Exterior materials, style, and features [describe the exterior of main buildings/resources]
- Interior materials, style, and features [describe the interior of main buildings/resources]
- Outbuildings/Landscape [describe briefly additional outbuildings/landscape features found on property, substitute Building Complex Form if preferred; See Instructions, page 18]
- Boundaries [explain how/why boundaries chosen, such as historic legal parcel, visual natural features such as tree lines, alley separating modern construction, etc.]
- Integrity [summarize changes to the property and assess how the changes impact its ability to convey significance]

The Mengle House is located at 3516 Pocono Park Road in Stroud Township, Monroe County, Pennsylvania (**See Location Map**). The property is approximately 0.72 miles southwest of Interstate 80 West (I-80W) exit 304. The house is sited facing Pocono Park Road and at the northeast corner of the intersection with Bridge Street. The property is set in a residential location and adjacent to two major travel corridors in Interstate 80 and SR 209. The house is set within a largely urban area consisting primarily of early-to-mid twentieth century housing. The Mengle property also includes a stone cellar and a small cottage located to the northeast of the house (**See Site Plan**). The property encompasses 0.53 acres of land.

The frame Mengle House at 3516 Pocono Park Road is a one-and-a-half-story, three-bay, early twentieth century Bungalow style single family dwelling. It has a concrete foundation, river-stone and vinyl siding exterior, and a side-gabled asphalt shingle roof with a south sloping shed-roof portico. This banked house includes a garage on the ground level of the north elevation and a second floor entrance on its east elevation. A concrete sidewalk leads from the north elevation driveway along the west elevation to the portico. A second concrete sidewalk leads from Pocono Park Drive to the main entrance along the south facing façade. A shed-roof extends the south sloping gable to create a portico that wraps around the south and west elevations. It is supported by four metal-fluted columns that sit atop a river-stone balustrade. Between each of these fluted-columns is wood lattice work covering the length of the wood floored wrap-around porch, which can be accessed from the south, east, and west elevations. The wood-paneled nine-light central front door is flanked by two, two-light side lights, which are further flanked by two, large, four-over-one, double-hung windows with aluminum sash and a wood frame. Vinyl-sided, shed-roof dormers adorn both the north and south sloping gables and are equipped with modern, ribbon two-light sliding windows with wood frame and vinyl sash. The fenestration includes paired and single, four-over-one, double-hung windows with wood frames and aluminum sash, as well as a few that retain the original wood sash, a one-over-one, double-hung window with a wood frame and aluminum sash, paired, fixed six-light windows with wood frame and aluminum sash, and modern, ribbon two-light sliding windows with wood frame and vinyl sash. While most of these windows have been supplanted by modern replacement windows with aluminum or vinyl sash, many still retain their original wood frame. An interior river-stone chimney is centered along the ridge line. This chimney is decorated with vertically placed river-stones serving as its crown.

On the east elevation, the portico is accessed by a concrete pad and step directly adjacent to the upper driveway. Two original paired four-over-one, double-hung windows with wood frame and sash are located centrally along the first floor, while a single four-over-one, double-hung window with a wood frame and aluminum sash is located on the south end of the east elevation. A separate second floor apartment is accessed by wooden steps with a wood handrail on the east elevation of the house (**Photograph 1**). This entrance has a wood paneled door with a single-pane window with wood frame and is covered by a metal-roof canopy supported by square wood posts. A one-over-one, double-hung window with aluminum sash and wood frame is located directly beside this door. Vinyl siding is installed within the gable end.

The wrap-around porch partially covers the first floor on the west elevation. It is accessed by concrete walkways leading from the north elevation driveway and from Bridge Street on the west elevation (**Photograph 3**). The river-stone balustrade on the west elevation is adorned with a low arch located at floor level on the south end of the portico (**Photograph 2**). Two four-over-one, double-hung windows with wood frame and sash are located on the second floor. Vinyl siding is installed within the gable end.

An asphalt driveway leads to the north elevation. Three four-over-one, double-hung windows with wood frame and aluminum sash are located on the second floor with another located on the first floor. The north elevation is accessed by an off-center recessed-panel wood door on the first floor (**Photograph 4**). On the east side of the north elevation is a roll-up wooden garage door with six single-pane windows.

### Cottage

The mid-twentieth century cottage is located directly northeast of the Mengle House (**Photographs 5 & 6**). It is a one-story, three-bay frame building with wing. The cottage has a concrete-block foundation, asphalt-shingle exterior, and an asphalt-shingled cross-gabled roof. The fenestration includes one-over-one, and two-over-two, double-hung sash, and two-light tilt windows, which all have wood frames and wood sash. An exterior concrete-block chimney rises along the south elevation. A shed roof porch is located along the north end of the west facing façade and is supported by square wood posts. This concrete-block porch is accessed by a concrete walkway that leads from the lower driveway. A wood-paneled three-light door is centered within the porch and is flanked by a two-light awning window on the south side, and another window that has been boarded over on the north side. What appears to be a small tool shed addition is attached to the south elevation. It has an asphalt-shingled shed roof and both horizontal and vertical board siding. It is accessed by a raised-panel wood door located on the south side of the west elevation of the cottage.

### Stone Cellar

An early twentieth century stone cellar is located directly northeast of the Mengle House, between the house and the cottage (**Photograph 7**). The entrance is open and is located along the north side. The cellar was built directly into the embankment and has a concrete-block foundation and interior, with a river-stone exterior. The exterior river-stone walls have begun to deteriorate.

### Integrity

The Mengle House is an undistinguished and altered example of an early twentieth century Bungalow style residence. Built during the suburban housing swell of the early twentieth century, it is merely one of many examples of a Bungalow style residence in this area; some appear to have more integrity remaining than the Mengle House. Various changes have been made to this house, diminishing its material integrity since its construction in 1923. These include the replacement of many of its windows, the addition of vinyl siding within the upper gable ends, as well as the addition of a second floor entrance. The property retains its integrity of location, but has diminished integrity of setting due to the realignment of SR 209, which bypassed Pocono Park Drive and resulted in the introduction of numerous modern residences and businesses within the area. Overall, the Mengle House retains moderate integrity.



## History and Significance (Item 39)

Provide an overview of the history of the property and its various resources. Do not substitute deeds, chapters from local history books, or newspaper articles. See page 14 of the Instructions for detailed directions. Continue on additional sheets as needed.

Suggested outline for organizing this section:

- History [Summarize the evolution of the property from origin to present]
- Significance [Explain why the property is important]
- Context and Comparisons [Describe briefly similar properties in the area, and explain how this property compares]

### Resource History

The tract of land currently owned by Susan Henning can be traced back as a part of three separate parcels that were combined in the early twentieth-century. Through various deals and partnerships from 1875-1881, John Klaer eventually gained ownership of both parcel #1 and parcel #2. Parcel #1 included lands north of the intersection of “Old State Road” and “Macadam Road”, while parcel #2 included lands on the northern side of “Old State Road” as well. After John Klaer’s death on December 27, 1888, the property was passed to his wife, Maria B. Klaer, through his last will and testament (Monroe County Estate Book 3: 451). Maria eventually sold both parcels to Edward W. and Susan Gordon on January 11, 1909 for \$1,600 (Monroe County Deed Book 66: 379). The Gordons sold parcel #1 to Hiram K. and Anna M. Mengle on July 17, 1922 for \$350 (Monroe County Deed Book 87: 595). It was at this point in 1923 that the Mengle House was built on the property by Hiram and Anna Mengle. The Gordons held onto parcel #2 for a few more years until they eventually sold it to the Mengles on October 16, 1924, for \$1.00 (Monroe County Deed Book 100: 251). Parcel #3 ran along the east side of Bridge Street, and was sold to Jacob Enelow and his wife on November 1, 1926 (Monroe County Deed Book 99: 447). The Enelows held onto the property for two years before they sold it to the Mengles in July 1928, for \$1.00 (Monroe County Deed Book 105: 141). Upon purchasing this last parcel, the Mengles now owned the entire property as it is currently configured.

Hiram and Anna Mengle eventually sold the property to Warren B. and Juliet R. Rawlings, on May 13, 1938, for \$1.00 (Monroe County Deed Book 129: 270). The Rawlings held the property until December 31, 1945, when they sold it to Fred L. and Olive K. Scheller for \$1.00 (Monroe County Deed Book 152: 321). On February 13, 1958, the Schellers sold the property to Lester C. and Helen M. Rice for \$4,175.84 (Monroe County Deed Book 240: 510). Lester died on May 11, 1992, and the title was then passed to Helen as the surviving tenant. She only held the title for another year before passing it to her son, Blaine M. Rice, on June 16, 1993, for \$1.00 (Monroe County Deed Book 1893: 357). Blaine quickly authorized his own will on June 22, 1993, and named Sarah Polo and Louis Bray as his executors. When he died on January 8, 1995, Polo and Bray received ownership of the property. Polo and Bray then sold the property to John A. Sweeney Jr. on April 8, 1997, for \$88,000 (Monroe County Deed Book 2034: 9144). John A. Sweeney Jr. added his son, John A. Sweeney III, to the property as his co-trustee under a revocable living trust agreement on July 11, 1997 (Monroe County Deed Book 2046: 6547). The Sweeney family jointly sold the property to Glenn R. and Susan Henning on December 19, 2003, for \$100,000 (Monroe County Deed Book 2177: 5147). Currently, the last transaction involving this property occurred on April 6, 2009, when Glenn R. Henning gave his share of ownership to the current owner, Susan Henning, for \$1.00 (Monroe County Deed Book 2351: 4088).

### Architectural Context

The Bungalow style house has its roots in a dramatically shifting time and culture. Built mainly from 1890 to the 1920s, the Bungalow quenched the growing number of middle class people’s desire for simplicity and the “back-to-nature” movement of this period (King 1995: 133). Initially inspired by the Arts and Crafts Movement of the 1880s in England, Bungalows began being built in America in the 1890s as purpose-built vacation homes (King 1995: 133). By 1905, the perception of Bungalows had shifted. Thanks to the suburban development of the late nineteenth and early twentieth-centuries, they became primarily viewed as

permanent suburban dwellings. Its small size and inexpensive construction helped to make the rise of the Bungalow instrumental in the development of the modern suburb as it quickly became the dominant style for smaller houses throughout the United States from 1905 until the mid-1920s (McAlester 1995: 454).

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The Bungalow, while not devoid of regional variation, did maintain much of the same basic structure and features throughout all regions of the country. Bungalows were built low and horizontal so as to not take away from the natural landscape of the area, but were spaciouly designed with open plans so as to be functional as well (King 1995: 142). Primary features of the Bungalow include one or one-and-a-half stories, low pitched gable roofs, overhanging eaves, a shaded porch, and were primarily constructed of common local materials (King 1995: 142). Both the “sleeping porch” and the general living room were essential features of the suburban Bungalow (King 1995: 136). Like other simple, but functional houses, the Bungalow has since given rise to many variations; the California, the Swiss, the Colonial, the Tudor, and many others according to the locale and fashion of the time (King 1995: 147).

The decade of the 1920s saw the biggest boom and also the steep decline of the Bungalow. The enormous growth of automobile ownership allowed more people the opportunity to live in the suburbs, but while this suburban population explosion initially led to a dramatic increase in the number of Bungalows built, it also led to their steep decline (King 1995: 148). Entrepreneurs sought better ways of utilizing space than the single family home and so increasingly built multi-family buildings and apartment complexes (King 1995: 148). The Great Depression further stymied suburban development, and by the 1930s, even the term Bungalow as a universal single family home was out of fashion (King 1995: 148). The Ranch style house eventually evolved from the Bungalow after World War II and took its place as the most common single family suburban dwelling of the period (King 1995: 150).

#### National Register of Historic Places Evaluation

The Mengle House was originally surveyed as part of the Monroe County architectural survey (Key #038599). Then known as the Rice Home, it was noted as constructed in the 1920s. However, no eligibility recommendation was given at that time. The photograph accompanying the survey form does not show the elevations where the current alterations have been made, so the exact period of these alterations could not be ascertained. As such, the photograph taken for the Monroe County architectural survey shows the house in a similar condition as it is currently. As it currently stands, the Mengle House is an undistinguished and altered example of an early-twentieth-century Bungalow style residence.

The Mengle House was evaluated according to the criteria set forth in *National Register Bulletin 15: “How to Apply the National Register for Evaluation.”* The property does not appear to be associated with any important historic events or trends under Criterion A. As evaluated under Criterion B, the Mengle House is not known to be associated with any individuals of local, state, or national significance. A review of the available literature indicates that neither the Mengle nor Rice families are known to have been significant on the local, state, or national level. As evaluated under Criterion C, the Mengle House is not eligible for the National Register. The integrity of materials of the Mengle House has been compromised due to the various alterations it has undergone, including the replacement of many of its windows, the addition of vinyl siding within the upper gable ends, as well as the addition of a second floor entrance. The Mengle House is one of many undistinguished and altered early twentieth century Bungalow style houses in the area. Due to these alterations, and its overall ubiquity within the period and region, the Mengle House is not architecturally significant. Archaeological investigations have not been conducted on the property; therefore, the resources eligibility under criterion D (potential to yield information important to history and prehistory) cannot be assessed at this time.

The Mengle House is recommended **not eligible** for the National Register of Historic Places.



## Bibliography

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Photograph 1: East and south elevations of the Mengle House.



Photograph 2: South and west elevations of the Mengle House.





Photograph 3: West and north elevations of the Mengle House.



Photograph 4: North and east elevations of the Mengle House.





Photograph 5: North and west elevations of the cottage.



Photograph 6: West elevation of the cottage.





Photograph 7: View looking south at the stone cellar.



# Historic Resource Survey Form

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION  
 Pennsylvania State Historic Preservation Office (PA SHPO)

Key # _____
ER# _____ 2013-8131-089 _____

## Name, Location and Ownership *(Items 1-6; see Instructions, page 4)*

**HISTORIC NAME:** Perfection Shoe Machinery Company

**CURRENT/Common NAME:** 1209 West Main Street

**STREET ADDRESS:** 1209 West Main Street, Stroudsburg, Pennsylvania **ZIP** 18360

**LOCATION:** South of West Main Street, bounded by I-80, to the south; Garden Street, to the east; and Beers Street, to the west.

**MUNICIPALITY:** Stroudsburg Borough **COUNTY:** Monroe

**TAX PARCEL #/YEAR:** 18730009079282 **USGS QUAD:** Stroudsburg, PA

**OWNERSHIP**       Private  
                           Public/Local    Public/County    Public/State    Public/Federal

**OWNER NAME/ADDRESS:** 1189 WMS, LLP/1875 West Main Street PO Box 231, Stroudsburg, PA 18360

**CATEGORY OF PROPERTY**    Building    Site    Structure    Object    District

**TOTAL NUMBER OF RESOURCES**   1

## Function *(Items 7-8; see Instructions, pages 4-6)*

Historic Function	Subcategory	Particular Type
<u>Industry/Processing/extract</u>	<u>manufacturing</u>	<u>factory</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
Current Function	Subcategory	Particular Type
<u>Vacant/not in use</u>	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

## Architectural/Property Information *(Items 9-14; see Instructions, pages 6-7)*

### ARCHITECTURAL CLASSIFICATION

<u>Vernacular</u>	_____
_____	_____
_____	_____

### EXTERIOR MATERIALS and STRUCTURAL SYSTEM

Foundation	<u>Stone</u>	_____
Walls	<u>Brick</u>	<u>Wood</u>
Roof	<u>Asphalt</u>	_____
Other	_____	_____
Structural System	<u>Iron frame</u>	_____

**WIDTH:** 50 (feet) or 5 (# bays)      **DEPTH:** 100 (feet)      **STORIES/HEIGHT:** 1

**Property Features** (Items 15-17; see Instructions, pages 7-8)

Setting: Urban

**Ancillary Features**

<u>fence</u>	<u>billboard</u>	_____
_____	_____	_____
_____	_____	_____

Acreage: .3 (round to nearest tenth)

**Historical Information** (Items 18-21; see Instructions, page 8)

Year Construction Began: 1916  Circa      Year Completed \_\_\_\_\_  Circa

Date of Major Additions, Alterations: 1920  Circa      1950  Circa      \_\_\_\_\_  Circa

Basis for Dating  Documentary  Physical

Explain: Based upon background literature search and physical inspection

Cultural/Ethnic Affiliation(s): N/A

Associated Individual(s): Cornelius Loose

Associated Event(s): none

Architect(s): unknown

Builder(s): Perfection Shoe Machinery Company

**Submission Information** (Items 22-23; see Instructions, page 8)

Previous Survey/Determinations: None

Threats  None  Neglect  Public Development  Private Development  Other

Explain: The property may be impacted by the proposed SR 0080-17M, Reconstruction Project

This submission is related to a  non-profit grant application  business tax incentive  
 NHPA/PA History Code Project Review  other

**Preparer Information** (Items 24-30; see Instructions, page 9)

Name & Title: Charles Richmond, MA/Architectural Historian

Date Prepared: May 3, 2016

Project Name: SR 0080-17M, Reconstruction Project

Organization/Company: McCormick Taylor, Inc.

Mailing Address: 5 Capital Drive, Suite 400, Harrisburg, Pennsylvania 17110

Phone: 717-540-6040

Email: carichmond@mccormicktaylor.com



**National Register Evaluation** *(Item 31; see Instructions, page 9)*  
**(To be completed by Survey Director, Agency Consultant, or for Project Reviews ONLY.)**

- Not Eligible (due to  lack of significance and/or  lack of integrity)  
 Eligible Area(s) of Significance: N/A  
Criteria Considerations: N/A Period of Significance: N/A  
 Contributes to Potential or Eligible District District Name: N/A

**Bibliography** *(Item 32; cite major references consulted. Attach additional page if needed. See Instructions, page 9.)*

See Continuation Sheet 16

**Additional Information**

The following must be submitted with form. Check the appropriate box as each piece is completed and attach to form with paperclip.

- Narrative Sheets—Description/Integrity and History/Significance (See Instructions, pages 13-14)  
 Current Photos (See Instructions, page 10)  
 Photo List (See Instructions, page 11)  
 Site Map (sketch site map on 8.5x11 page; include North arrow, approximate scale; label all resources, street names, and geographic features; show exterior photo locations; See Instructions, page 11)  
 Floor Plan (sketch main building plans on 8.5x11 page; include North arrow, scale bar or length/width dimensions; label rooms; show interior photo locations; See Instructions, page 11)  
 USGS Map (submit original, photocopy, or download from TopoZone.com; See Instructions, page 12)

**Send Completed Form and Additional Information to:**

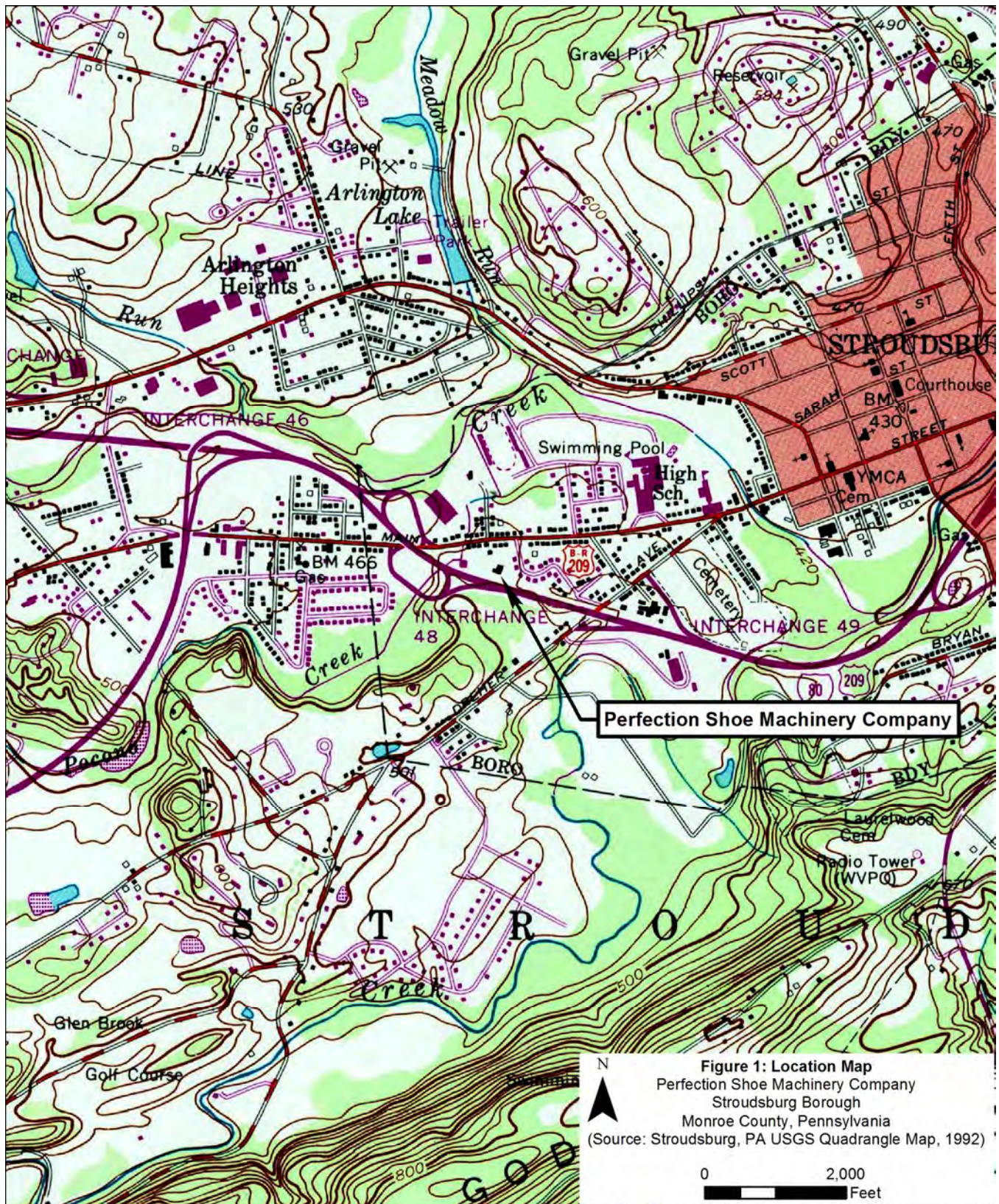
National Register Program  
Bureau for Historic Preservation/PHMC  
Keystone Bldg., 2<sup>nd</sup> Floor  
400 North St.  
Harrisburg, PA 17120-0093





## Location Map (Item 34)

See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.



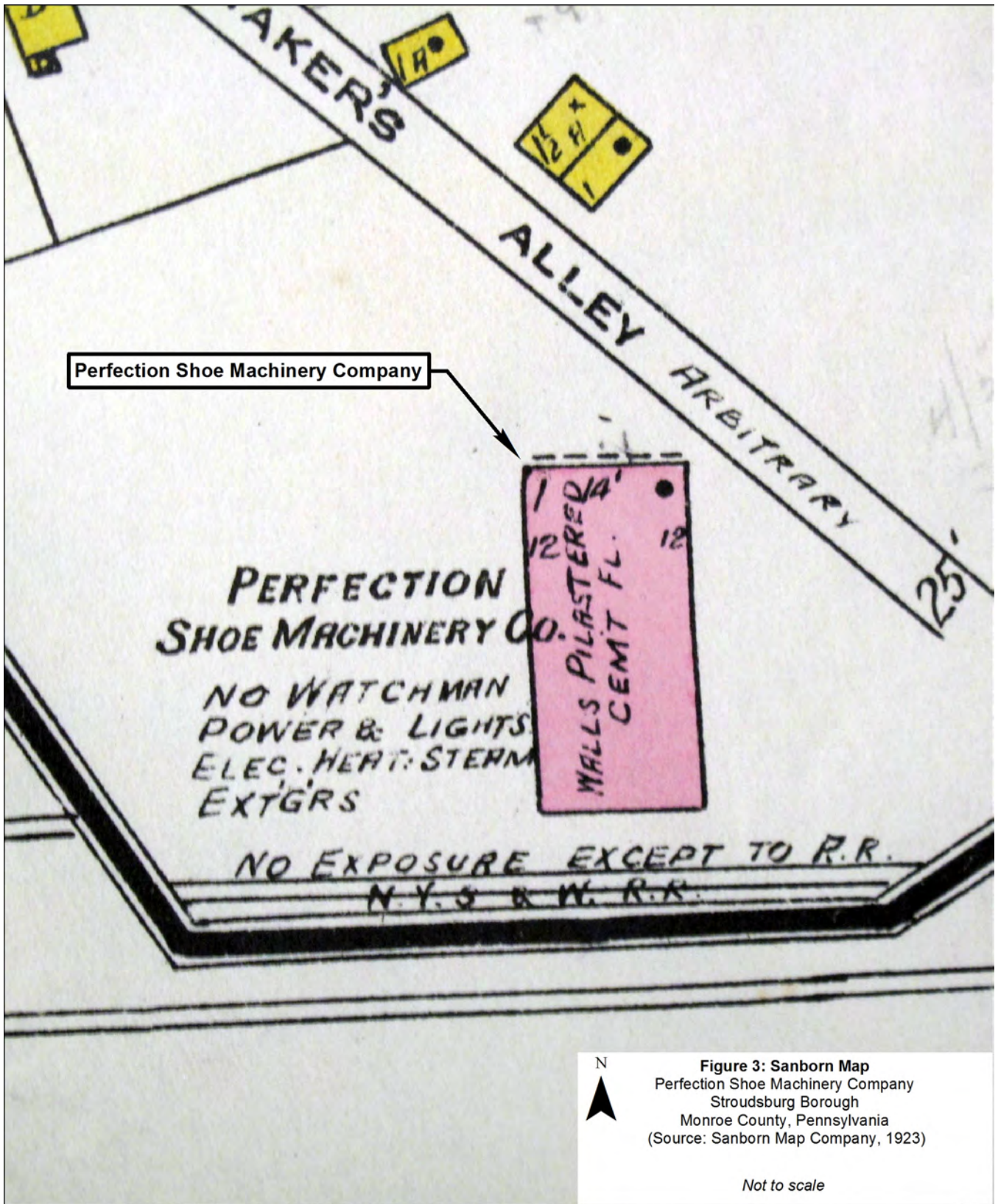


# Site Plan

See page 11 of the Instructions for more information regarding the floor plan. Provide a floor plan for the primary buildings, showing all additions. Label rooms and note important features. Note the date of additions. Include a North arrow and a scale bar (note if scale is approximate) or indicate width/depth dimensions. This sheet may be used to sketch a floor plan or another map/plan may be substituted.







**Figure 3: Sanborn Map**  
Perfection Shoe Machinery Company  
Stroudsburg Borough  
Monroe County, Pennsylvania  
(Source: Sanborn Map Company, 1923)

Not to scale

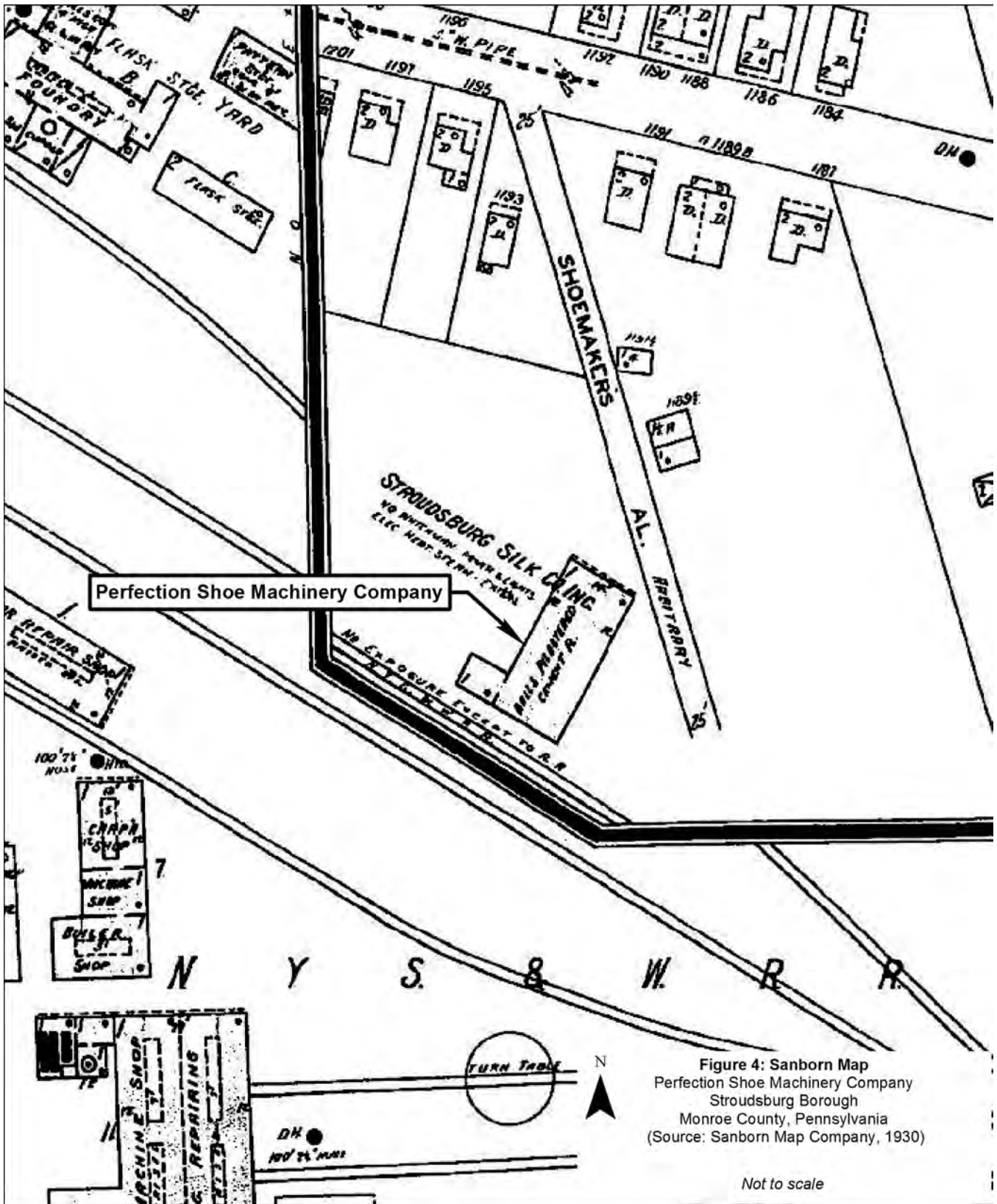
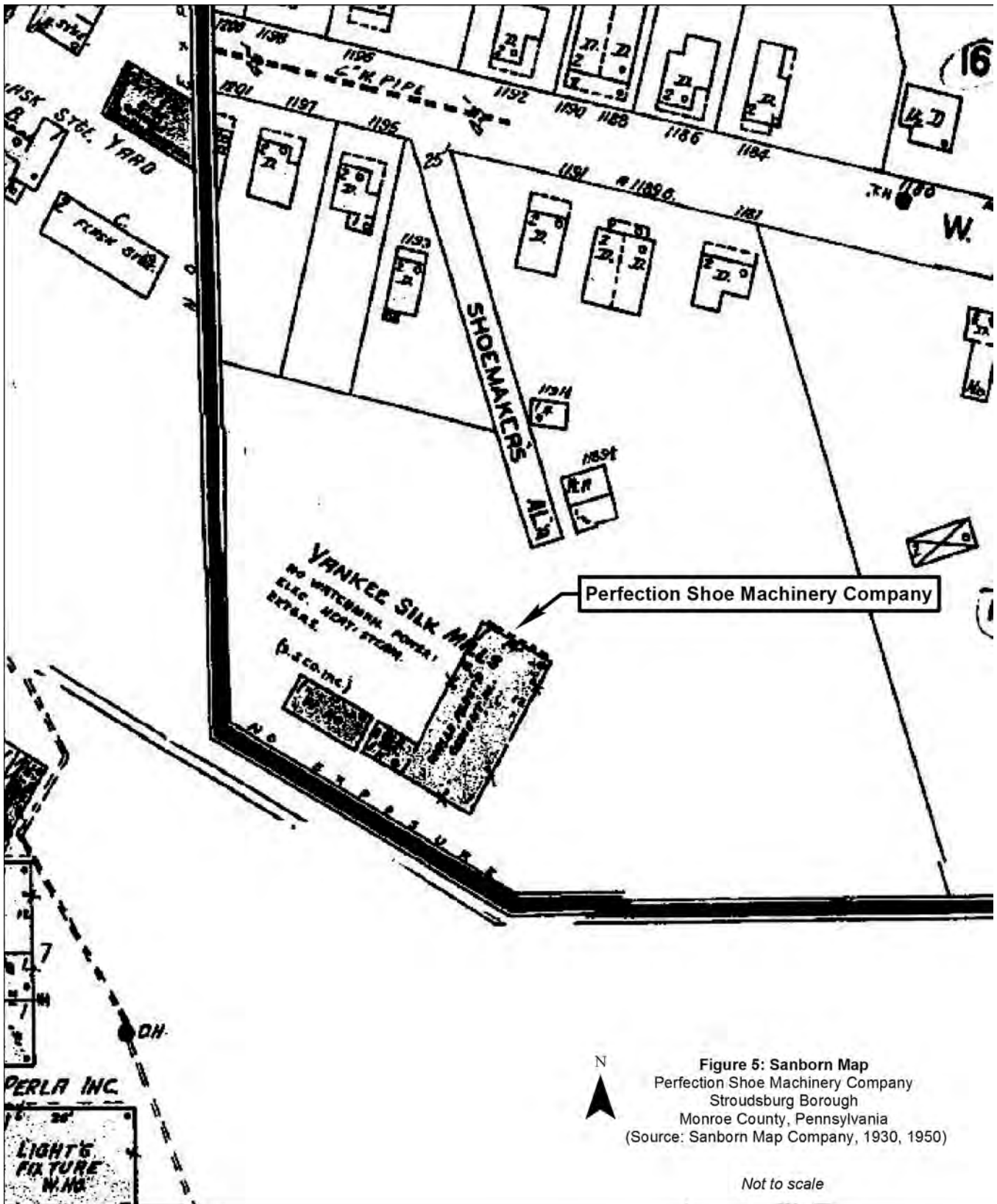


Figure 4: Sanborn Map  
 Perfection Shoe Machinery Company  
 Stroudsburg Borough  
 Monroe County, Pennsylvania  
 (Source: Sanborn Map Company, 1930)

Not to scale





## Physical Description and Integrity (Item 38)

Provide a current description of the overall setting, landscape, and resources of the property. See page 13 of the Instructions for detailed directions. Continue on additional sheets as needed. Suggested outline for organizing this section:

- Introduction [summarize the property, stating type(s) of resource(s) and function(s)]
- Setting [describe geographic location, streetscapes, natural/man-made landscape features, signage, etc.]
- Exterior materials, style, and features [describe the exterior of main buildings/resources]
- Interior materials, style, and features [describe the interior of main buildings/resources]
- Outbuildings/Landscape [describe briefly additional outbuildings/landscape features found on property, substitute Building Complex Form if preferred; See Instructions, page 18]
- Boundaries [explain how/why boundaries chosen, such as historic legal parcel, visual natural features such as tree lines, alley separating modern construction, etc.]
- Integrity [summarize changes to the property and assess how the changes impact its ability to convey significance]

The Perfection Shoes Machinery Company, 1209 West Main Street, is located in the western section of the Borough of Stroudsburg, near the intersection of SR 209 and Interstate 80 (I-80) (**See Figure 1**). The setting is composed of a mixture of residential, commercial and transportation resources. The property consists of a single, early twentieth century industrial building which is currently vacant. The parcel is owned by WMS LLP of Stroudsburg, Pennsylvania. The industrial building is bounded by residential housing along Main Street, to the north, and Garden Street, to the east (**See Figure 2**). A parking lot (also designated as Beers Street) associated with a restaurant is located to the west. I-80 bounds the property to the south. The property is partially enclosed with a chain link fence, located to the west side of the industrial building. The property appears to have been historically accessed by a private lane which extended from Main Street to the factory. The lane was recorded as Shoemaker's Alley on historic mapping, but is presently a private gravel lane.

The Perfection Shoe Machinery Company industrial building was constructed in 1916 based upon a physical inspection and review of available tax records, mapping, and historical documentation. The early twentieth century industrial building is a one-story, five-bay factory with a steel frame structural system (**See Photographs 1 & 2**). The gable front structure has an asphalt shingle roof, brick exterior, and stone foundation. The building features a low-pitched gable front roof with exposed wood rafter tails. The façade is composed of five bays which are separated by raised brick pilasters. A gable roof hood with brackets is found in the northeast end of the façade (**See Photograph 3**). The hood is located above a wood paneled door. The three central bays of the façade are now enclosed with wood planks. These were most likely originally multi-paned windows with metal sashes. A brick sill is set beneath each of the three bays. A roll up garage bay is found at the northwest end of the façade. A concrete loading dock abuts the building at the garage bay. Attic level openings are centrally located at the apex of both the north and south elevations. The south elevation attic level has been enclosed. The north elevation opening no longer retains its fenestration. An industrial brick chimney is located along the exterior of the north elevation and extends through the eave. The brick chimney flares out at the upper end and has a concrete crown.

The Perfection Shoe Machinery Company is a rectangular building and measures approximately 50 feet by 100 feet. The industrial building is six bays deep with a brick exterior. Large industrial windows are found along the east and west elevations, but have been infilled with wood siding. Several windows were replaced during the summer of 2015. A single garage bay door is centrally located along the west elevation. The bay door has been removed and infilled with wood planks. A concrete pad is situated adjacent to the former garage bay opening.

A one-story addition is located at the southwest corner of the building and was constructed between 1925 and 1930. The addition has a concrete foundation, brick exterior, and asphalt shingle roof (**See Photographs 5-7**). The majority of the gable roof has collapsed. The entrance is centrally located along the north elevation. The entrance features a brick segmental arch above the wood frame entrance. The door is no



longer present. A gable roof hood was located above the entrance and was subsequently removed. Two windows are set along the north elevation. Both windows feature an elliptical brick arch above the windows, which have been removed and enclosed with wood planks.

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A 10 foot by 15 foot frame addition is found midway along the east elevation (**See Photograph 8**). This addition was built after 1950. The addition has a horizontal wood board exterior and asphalt shingle shed roof, with exposed rafter tails. The windows have been removed and enclosed with wood paneling.

A one-story concrete block warehouse was located immediately west of the Perfection Shoe Machinery Company factory. The warehouse was built between 1930 and 1950, but is no longer present.

## History and Significance (Item 39)

Provide an overview of the history of the property and its various resources. Do not substitute deeds, chapters from local history books, or newspaper articles. See page 14 of the Instructions for detailed directions. Continue on additional sheets as needed.

Suggested outline for organizing this section:

- History [Summarize the evolution of the property from origin to present]
- Significance [Explain why the property is important]
- Context and Comparisons [Describe briefly similar properties in the area, and explain how this property compares]

---

## Historical Background

The property located at 1209 West Main Street operated as the Perfection Shoe Machinery Company during the early twentieth century and as a silk/textile factory during the early-to-mid twentieth century. The property on which the factory was erected was owned by members of the Reynolds family during the nineteenth and early twentieth centuries. On January 26, 1916 Horace Marst, executor for the Reynolds family, sold a tract of land from the family estate to Cornelius Loose (Monroe County Deed Book 77 Page 98). Loose was a New York businessman and a principal sponsor of the efforts to establish the Perfection Shoe Machinery Company in Stroudsburg. Loose had been employed with the Champion Shoe Machinery Company of New York for several years before forming his own company, The C.E. Loose Agency Corporation, in 1913. The company produced a line of shoe finishing machines that were marketed under the brand name "Perfection." In 1916 Loose reorganized the company as the Perfection Shoe Machinery Company and relocated to Pennsylvania (The Shoe Repairer and Dealer 1921: 32-33).

On March 1, 1916 the Perfection Shoe Machinery Company was incorporated in Pennsylvania (Misc. Book G Page 111). The board of directors of the company consisted of Cornelius and Cora Loose, J. Charles Zimmerman, and John A. Dabb, of New York, and William W. L'Hommedieu, Chester Rhodes, and Joseph Shiffer of Stroudsburg, Pennsylvania. The company operated as a manufacturer and supplier of shoe making machines and parts. The factory appears to have also operated as a shoe manufacturer. The company was chartered with a \$10,000 capital investment (Commonwealth of Pennsylvania 1917:130). Cornelius and Cora Loose were majority shareholders. L'Hommedieu and Shiffer each owned 15 shares and Chester Rhodes own 10 shares. Chester H. Rhoades also served as secretary for the company (Steel and Iron 1916:141).

Cornelius E. Loose was the company's representative at Stroudsburg during the late 1910s (R. L. Polk 1919: 901). Loose had previously been president of the Sales Agency Corporation (NY). Industrial directories of the period note that the Sales Agency Corporation sold machinery, but did not elaborate on the specific type of machinery. Cora Loose, the wife of Cornelius Loose, served as secretary and member of the board of directors with the Sales Agency Corporation (R.L. Polk 1915: 607).

Three members of the Stroudsburg business community were involved in the organization of the Perfection Shoe Machinery Company. William Wallace L'Hommedieu was born in 1882 and was the son of William L'Hommedieu, a Stroudsburg lawyer, and Josephine Wallace, daughter of prominent Stroudsburg businessman Joseph Wallace. During the early twentieth century the L'Hommedieu family was active in the business community of Stroudsburg and Monroe County. The L'Hommedieu Company operated a 5 and 10 cent discount store at 552-554 Main Street. Beginning around 1902, William W. L'Hommedieu became engaged in the retail coal business as part of the firm of Zabriskie & L'Hommedieu (Hull 1918: 398). In 1913 he served as the secretary of the Stroudsburg Engine Company. In addition, the family owned a music store in the town. L'Hommedieu served as the vice-president of the City Coal Company based in Stroudsburg.

The second Stroudsburg native was Chester Rhodes, an attorney and member of the Perfection Shoe Machinery Company board of directors. Rhodes was born in Gouldsboro, Wayne County, Pennsylvania on



October 19, 1887. He studied at Lehigh University and earned a law degree in 1912. Rhodes was a member of the law firm of Rhodes & Gearhart in Stroudsburg. He served in a variety of administrative and political positions in Monroe County, including solicitor (1918-1920), District Attorney (1919-1922); and chairman, Monroe County Democratic Committee (1920-1922). Rhodes was elected as a Democrat to the Pennsylvania House of Representatives in 1923, 1925, 1927, 1931 and 1933 and went on to serve as a Superior Court Judge (Pennsylvania House of Representative 2015). He died, December 8, 1966 in Stroudsburg, Monroe County, Pennsylvania.

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The third Stroudsburg native was Joseph Shiffer, a local building contractor and financier. Shiffer was born on November 12, 1856, attended local schools and obtained an apprenticeship to learn masonry. He joined his father as a building contractor in Stroudsburg. Following his apprenticeship, Joseph returned to Stroudsburg and engaged in general contracting with his father. After the death of his father, Joseph Shiffer joined with his brothers to form Shiffer Brothers. He served in various capacities with a number of local business ventures, including as a director of the Stroudsburg National Bank, president of Gibbs & Company, and vice-president of the Stroudsburg Ribbon Mill Company (Jordan 1914: 278-279).

As noted above, the Perfection Shoe Machinery Company was realized through the efforts of several Stroudsburg and New York businesspersons and financiers. The company operated for approximately ten years and employed a small number of workers. No other known shoe machinery companies operated in Stroudsburg or the surrounding community during the twentieth century. The company was detailed in industrial records from the period as a shoe manufacturer and a shoe machine manufacturer. The factory was established at a time when the United Shoe Machinery Company was facing legal challenges to its control of the industry. It was also during the midst of World War I prior to the United States entrance into the conflict. In 1920 the company employed thirteen boys under the age of sixteen at the Stroudsburg plant. The workforce included four office staff, presumably including Cornelius Loose (Pennsylvania Department of Labor and Industry 1920: 822). In 1922 the Perfection Shoe Machinery Company employed forty male employees and one administrative employee (Pennsylvania Department of Internal Affairs 1922: 1044). However by 1925 the company employed only three workers and listed the company headquarters as 944 Bedford Avenue, Brooklyn, New York (Pennsylvania Department of Internal Affairs 1925: 384).

The Perfection Shoe Machinery Company filed for bankruptcy and the factory was sold in 1926. George C. Wildermuth, a corporate attorney from Brooklyn, New York, served as trustee for the Perfection Shoe Machinery Company during the bankruptcy process. The property was sold to William and Rose Costello of Jackson Township, Monroe County. The Costellos owned the property briefly and sold to the Stroudsburg Silk Company, Inc. in 1928.

During the early-to-mid twentieth century the Perfection Shoe Machinery Company factory was converted to function as a textile factory. The factory functioned in that capacity at various times through the mid-twentieth century. The Stroudsburg Silk Company operated the factory between 1928 and 1943. John J. Papsen and Harry Olldorf served as president of the Stroudsburg Silk Company, Inc. during the 1920s and 1930s (Deed Book 144 Page 194). In 1928 the company employed 40 workers at the West Main Street factory. The Stroudsburg Silk Company was a small sized firm and during its years of operation and employed between 25 and 40 workers in the manufacturing of silks, yarns, threads and rayon products.

The Yankee Silk Mill, Inc. was incorporated on June 25, 1943 and on October 18, 1943 it purchased the former Perfection Shoe Machinery Company property. The Yankee Silk Mills, Inc. operated for a few years and employed a small workforce during that time. In 1947 the Yankee Silk Mill, Inc. employed 18 workers (Pennsylvania Department of Internal Affairs 1947: 389). In 1950 the *Industrial Directory for Pennsylvania* noted that the Yankee Silk Mill, Inc. was inactive (Pennsylvania Department of Internal Affairs 1950: 361). Jonathan Nolan served as president and J.W. Uhl served as secretary of the Yankee Silk Mill, Inc. (Calkin-Kelly 1953: 187). During the early 1950s Forrest J. Mervine, of Stroudsburg, purchased the property (Deed

Book 179 Page 407). Mervine was a Stroudsburg lawyer and appears to have continued operations at the factory as the Yankee Ribbon Mills. In 1956 the Yankee Ribbon Mills employed 24 workers (Pennsylvania Department of Internal Affairs 1956: 737). The property was not legally transferred to the Yankee Ribbon Mills until Helen S. Mervine sold the property on February 1, 1961 (Deed Book 276 Page 571).

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The Yankee Ribbon Mill, Inc. retained the property until 1966 when it was sold to Elmer and Wilita Rinehart for \$28,000 (Deed Book 335 Page 333). Elmer Rinehart was a farmer and farm mechanic. During the 1950s Elmer and Wilita Rinehart resided at 1022 West Main Street in Stroudsburg (Calkin-Kelly 1951: 153). The Rinehart family possessed the property throughout the late twentieth century and eventually sold to 1189 WMS, LLP of Stroudsburg, Pennsylvania. 1189 WMS, LLP, the current owners, purchased the property on July 20, 2007.

### **Industrial Context**

The shoe machinery industry developed in the United States during the mid-nineteenth century. Prior to that time the shoe making industry was dominated by small scale and individual shoe makers who were limited in markets and production capabilities. The introduction of machinery to produce shoe parts evolved over the course of the mid-to-late nineteenth century and increased capacity for mass production. Traditional methods of shoe making continued for higher quality goods. In 1845 a rolling machine was designed to solidify sole leather (Allen 1916: 57). During the 1850s and 1860s a variety of machines were patented, including the Howe Sewing Machine (1852), McKay Sewing Machine (1858) and Goodyear Welt Machine, 1862 (Allen 1916: 58-59). Numerous machines were produced to add in the manufacturing of boots and shoes, including the lasting, welting, stitching, leveling, fastening, and heeling machines. In 1912, the United Shoe Machinery Company of Boston produced over two hundred different types of shoe manufacturing machines (Roe 1913: 950).

In 1899 the United Shoe Machinery Company was formed through the merger of the Goodyear Sewing Machine Company, McKay Shoe Machinery Company and Consolidated & McKay Lasting Machinery Company. Prior to 1899 these companies acquired many other firms which produced machines and parts necessary for shoe manufacturing machines. It was estimated that in 1911 the United Shoe Machinery Company maintained almost complete control of the industry (Weekly Bulletin 1911: 96). The industry was centered in New England, with large operations in Boston and Beverly, Massachusetts. That same year it was estimated in trade journals that there were approximately 50 independent shoe machinery companies operating in 1911 (Weekly Bulletin 1911: 100). The control of the shoe machinery industry by the United Shoe Machinery Company resulted in several legal actions, including anti-monopoly charges in Canada (1913) and the United States (1915). Many shoe manufacturers were opposed to the operating principles of the United Shoe Machinery Company, which had established the practice of leasing machines to producers. Lease contracts prohibited the use of other manufacturers' machines. Some argued the United Shoe Machinery Company established a monopoly and prevented competition (Roe 1913: 945-946). The company faced anti-monopoly charges and the case concluded with the Supreme Court siding with the United Shoe Machinery Company. By 1917 the United Shoe Machinery Company had grown to become the third largest machinery manufacturing company in the United States, behind International Harvester and Singer (Ingham 1983: 1655). The company continued to retain a majority of the shoe machinery industry throughout the twentieth century as USM Corporation and Emhart Industries.

The textile industry in Monroe County began on an industrial scale when the Stroudsburg Woolen Mill was established in 1865. The Panic of 1873 had a significant impact upon industrial and commercial operations throughout the country, including the mills of Stroudsburg. In 1873 Thomas Kitson formed a partnership with William Wallace, a locally prominent businessman, and re-established the Stroudsburg Woolen Mill. During the 1890s, silk production was established in East Stroudsburg. Several factors contributed to the



location of textile firms in Monroe County, including the availability of a good labor market and transportation network. By 1919 the Borough of Stroudsburg was home to several silk and textile firms, including Stroudsburg Ribbon Mills, Stanford Silk Company, Monroe Silk Mills, Thomas Kitson & Son, and William Gilbert Company. Several companies were headquartered in New York, but maintained factories in Stroudsburg and other Monroe County communities. The Amalgamated Silk Company, Star Ribbon Manufacturing Company, Stanford Silk Company and Gottier Ribbon Mill were some of the companies from New York that operated in the Stroudsburg vicinity. In 1922 the D.G. Derry, Inc. silk manufacturer was the largest employer in Stroudsburg, with 377 workers. The production of textiles was a major industry in Stroudsburg with several firms employing over 500 workers. Thomas Kitson & Son, Inc. and Monroe Silk Mills were other major textile employers in Stroudsburg. East Stroudsburg also maintained several textile firms and included approximately 300 workers. Silk and other textiles continued to be produced in Stroudsburg and East Stroudsburg throughout the mid to late twentieth century, although the numbers of persons employed in the industry steadily declined.

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### National Register Evaluation

The Perfection Shoe Machinery Company building was evaluated according to the criteria set forth in *National Register Bulletin 15: "How to Apply the National Register Criteria for Evaluation."* The property does not appear to be associated with any important historic events or trends under Criterion A. The factory was established during the early twentieth century and functioned for several years as a manufacturer of shoe making machinery and supplies. No other known shoe machinery manufacturers are known to have operated in the Stroudsburg area during the early twentieth century. The company ceased operations after several years and the facility was adapted to use for various industrial purposes, primarily textiles. This operation was small in scale in comparison with other industrial firms in Stroudsburg and the surrounding community. As a result, this property does not possess significance in the field of commerce and industry. As evaluated under Criterion B, the Perfection Shoe Machinery Company is not known to be associated with any individuals of local, state, or national significance. Several Stroudsburg area individuals were associated with the organization of the company, but the establishment of the Perfection Shoe Machinery Company does not appear to have been a major or significant event in relation to those persons. As evaluated under Criterion C, the Perfection Shoe Machinery Company does not appear to be eligible for the National Register. The industrial building has been altered through the loss of the original fenestration and materials. The early twentieth century addition has significantly deteriorated and lacks integrity. In addition, a warehouse associated with the factory is no longer extant. Archaeological investigations have not been conducted on the property; therefore, the resource's eligibility under Criterion D (potential to yield information important to history or prehistory) cannot be assessed at this time.

In order to be considered historic a property must retain integrity to convey its significance. Seven aspects of integrity for historic properties have been developed and include location, design, setting, materials, workmanship, feeling and association. The Perfection Shoe Machinery Company was an early twentieth century vernacular industrial building which was utilitarian in its design and construction. The property operated as a shoe/shoe machinery manufacturer between 1916 and 1926. The property was later converted to use for textile production (1928-1966). The building was not noted as innovative in its design or construction. The Perfection Shoe Machinery Company retains its historic *location*. The factory *design* has been altered through modern additions and loss and deterioration of historic elements. The factory setting is has deteriorated due to neglect and introduction of modern transportation facilities. The property has experienced the loss of *materials*, particularly through the removal and replacement of original fenestration throughout. The factory building retains a modest degree of *workmanship* as a result of the loss and deterioration of historic elements. The factory does retain its integrity of *feeling* and *association* with its industrial heritage. While the Perfection Shoe Machinery Company building has been shown to retain some elements of integrity, it has sustained the significant loss of key architectural elements and structural components.

The Perfection Shoe Machinery Company building is recommended **not eligible** for the National Register of Historic Places due to a loss of integrity and lack of significance.

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Photograph 1: North and east elevations of the former Perfection Shoe Machinery Company.



Photograph 2: North and west elevations of the former Perfection Shoe Machinery Company.





Photograph 3: Detail of main entrance located at northeast corner of the building.



Photograph 4: South and east elevations of the Perfection Shoe Machinery Company.



Photograph 5: View of one-story wing addition to the west elevation.





Photograph 6: South elevation of the Perfection Shoe Machinery Company, including one-story wing addition.



Photograph 7: South elevation of the one-story wing addition.



Photograph 8: Viewing looking southwest at the one-story frame addition located along the east elevation.



# Historic Resource Survey Form

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION  
 Pennsylvania State Historic Preservation Office (PA SHPO)

Key # <u>038809</u>
ER# <u>2013-8131-089</u>

## Name, Location and Ownership *(Items 1-6; see Instructions, page 4)*

HISTORIC NAME: Stroudsburg Cemetery

CURRENT/Common NAME: Stroudsburg Cemetery

STREET ADDRESS: Dreher Avenue, Stroudsburg, PA

ZIP 18360

LOCATION: Located along the south side of Dreher Avenue, approximately 250 feet south of the intersection of Dreher Avenue and West Main Street, and north of Interstate 80, adjacent to the exit 306 westbound off-ramp.

MUNICIPALITY: Stroudsburg

COUNTY: Monroe

TAX PARCEL #/YEAR: 18730010365824

USGS QUAD: Stroudsburg, PA

OWNERSHIP  Private  
 Public/Local  Public/County  Public/State  Public/Federal

OWNER NAME/ADDRESS: Stroudsburg Cemetery Association; 1073 Dreher Avenue, Stroudsburg, Pennsylvania, 18360

CATEGORY OF PROPERTY  Building  Site  Structure  Object  District

TOTAL NUMBER OF RESOURCES: 6

## Function *(Items 7-8; see Instructions, pages 4-6)*

Historic Function	Subcategory	Particular Type
<u>Funerary</u>	<u>Cemetery</u>	<u>Municipal Cemetery</u>
<u>Funerary</u>	<u>Graves/Burials</u>	<u>Stroudsburg Memorial</u>
<u>Funerary</u>	<u>Graves/Burials</u>	<u>Mausoleum</u>
<u>Funerary</u>	<u>Cemetery</u>	<u>Crematorium</u>
Current Function	Subcategory	Particular Type
<u>Funerary</u>	<u>Cemetery</u>	<u>Municipal Cemetery</u>
<u>Funerary</u>	<u>Graves/Burials</u>	<u>Stroudsburg Memorial</u>
<u>Funerary</u>	<u>Graves/Burials</u>	<u>Mausoleum</u>
<u>Funerary</u>	<u>Cemetery</u>	<u>Crematorium</u>

## Architectural/Property Information *(Items 9-14; see Instructions, pages 6-7)*

### ARCHITECTURAL CLASSIFICATION

Neoclassical Greek-Revival  
Gothic Revival Neo-Greek Revival

### EXTERIOR MATERIALS and STRUCTURAL SYSTEM

Foundation Concrete; Concrete block  
 Walls Indiana Limestone; Stucco; Granite; Vertical board;  
 Roof Granite; Asphalt shingle  
 Other Greystone spire; Ionic columns  
 Structural System Masonry; Frame

WIDTH: (feet) or 1, 2, and 3 (# bays)      DEPTH: (feet) or 1 and 2 (# rooms)      STORIES/HEIGHT: 1

**Property Features** (Items 15-17; see Instructions, pages 7-8)

Setting: Residential

**Ancillary Features**

Cast-metal fence \_\_\_\_\_

Paved and gravel roads throughout property \_\_\_\_\_

\_\_\_\_\_

Acreage: 24.8 (round to nearest tenth)

**Historical Information** (Items 18-21; see Instructions, page 8)

Year Construction Began: 1864  Circa      Year Completed 2014  Circa

Date of Major Additions, Alterations 1879  Circa      1924  Circa      1974  Circa

Basis for Dating  Documentary  Physical

Explain: This dating is based upon a field view and supplemental primary and secondary source material, including deeds, plans, and histories.

Cultural/Ethnic Affiliation(s): Initially nonsectarian, but a Greek Orthodox section was added in the late twentieth century

Associated Individual(s): John Summerfield Staples; Colonel Emery Ebenezer Norton

Associated Event(s): None

Architect(s): Unknown

Builder(s): Unknown

**Submission Information** (Items 22-23; see Instructions, page 8)

Previous Survey/Determinations: Monroe County Planning Commission/no determination

Threats  None  Neglect  Public Development  Private Development  Other

Explain: The property is located within the APE for the proposed SR 0080-17M, Reconstruction Project

This submission is related to a  non-profit grant application  business tax incentive

NHPA/PA History Code Project Review  other

**Preparer Information** (Items 24-30; see Instructions, page 9)

Name & Title: Joseph Jasinski, M.A.

Date Prepared: 4/23/2016

Project Name: SR 0080-17M, Interstate 80 (I-80) Reconstruction Project

Organization/Company: McCormick Taylor, Inc.

Mailing Address: 5 Capital Drive, Suite 400, Harrisburg, Pennsylvania 17110

Phone: 717-540-6040

Email: JAJasinski@mccormicktaylor.com



**National Register Evaluation** *(Item 31; see Instructions, page 9)*  
**(To be completed by Survey Director, Agency Consultant, or for Project Reviews ONLY.)**

- Not Eligible (due to  lack of significance and/or  lack of integrity)  
 Eligible Area(s) of Significance: N/A  
Criteria Considerations: N/A Period of Significance: N/A  
 Contributes to Potential or Eligible District District Name: N/A

**Bibliography** *(Item 32; cite major references consulted. Attach additional page if needed. See Instructions, page 9.)*

See Continuation Sheet 19

**Additional Information**

The following must be submitted with form. Check the appropriate box as each piece is completed and attach to form with paperclip.

- Narrative Sheets—Description/Integrity and History/Significance (See Instructions, pages 13-14)  
 Current Photos (See Instructions, page 10)  
 Photo List (See Instructions, page 11)  
 Site Map (sketch site map on 8.5x11 page; include North arrow, approximate scale; label all resources, street names, and geographic features; show exterior photo locations; See Instructions, page 11)  
 Floor Plan (sketch main building plans on 8.5x11 page; include North arrow, scale bar or length/width dimensions; label rooms; show interior photo locations; See Instructions, page 11)  
 USGS Map (submit original, photocopy, or download from TopoZone.com; See Instructions, page 12)

**Send Completed Form and Additional Information to:**

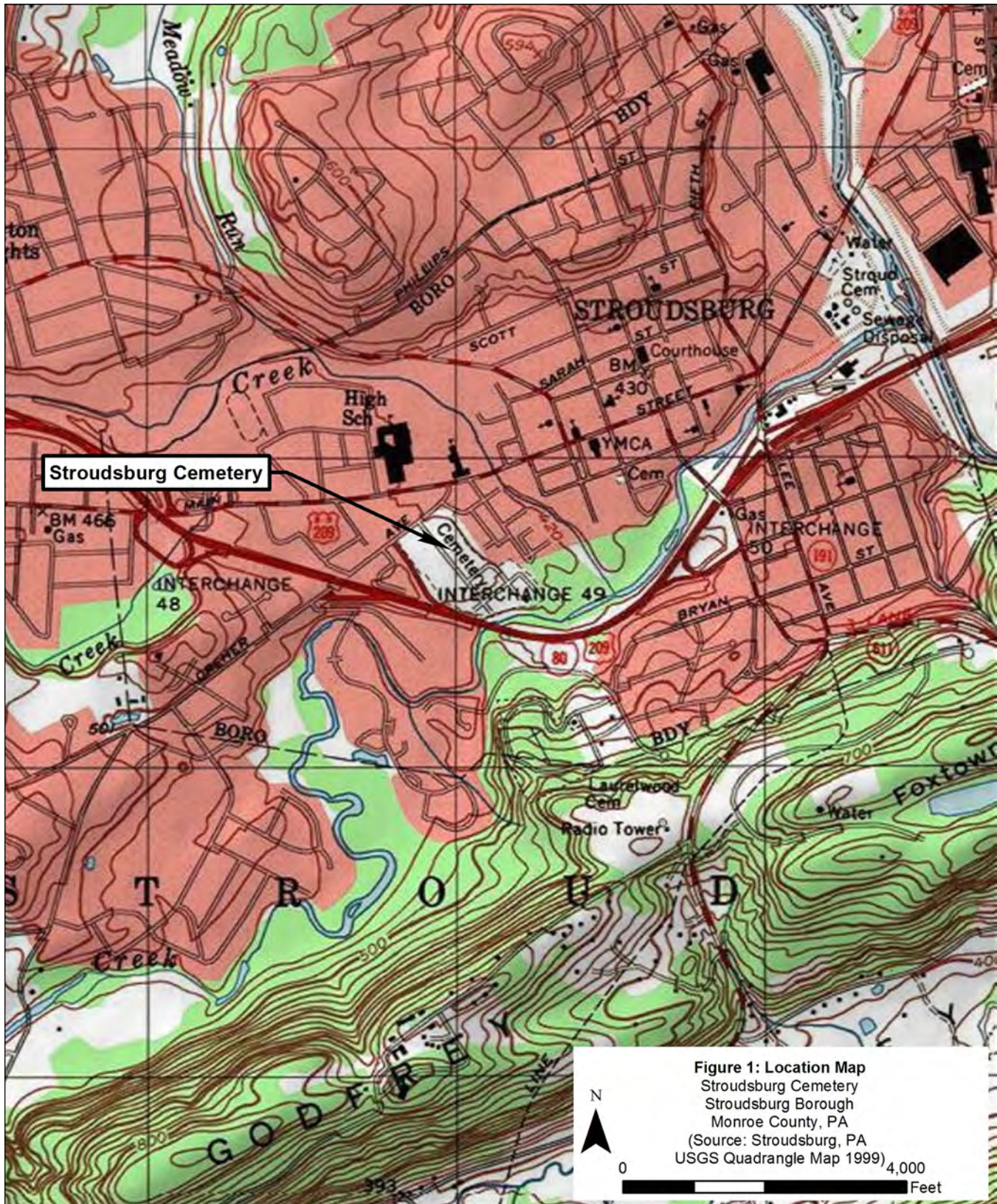
National Register Program  
Pennsylvania State Preservation Office (PA SHPO)  
Keystone Bldg., 2<sup>nd</sup> Floor  
400 North St.  
Harrisburg, PA 17120-0093





**Location Map** (Item 34)

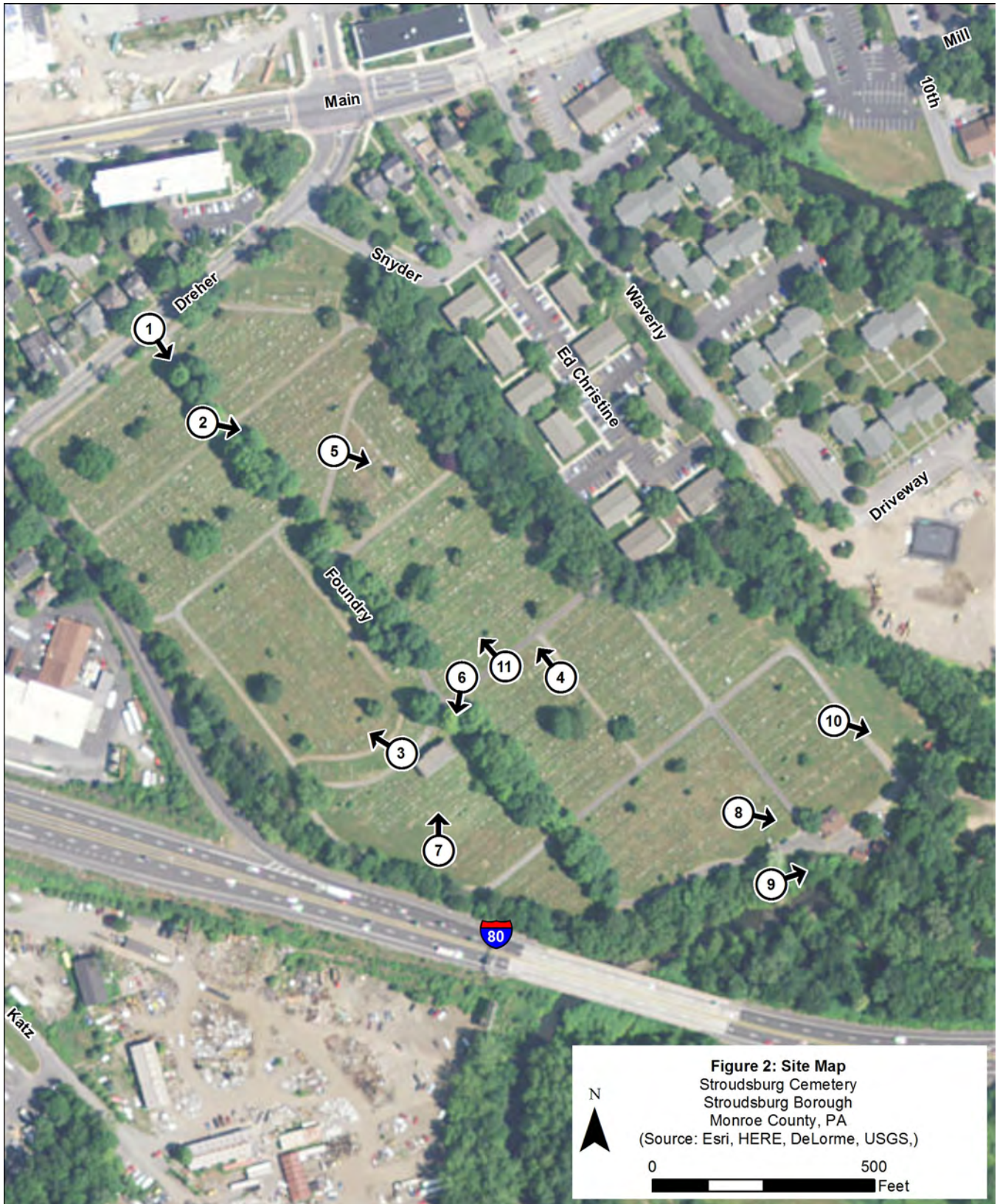
See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.





### Site Plan (Item 35)

See page 11 of the Instructions for more information regarding the floor plan. Provide a floor plan for the primary buildings, showing all additions. Label rooms and note important features. Note the date of additions. Include a North arrow and a scale bar (note if scale is approximate) or indicate width/depth dimensions. This sheet may be used to sketch a floor plan or another map/plan may be substituted.



**Figure 2: Site Map**  
Stroudsburg Cemetery  
Stroudsburg Borough  
Monroe County, PA  
(Source: Esri, HERE, DeLorme, USGS,)  
0 500  
Feet





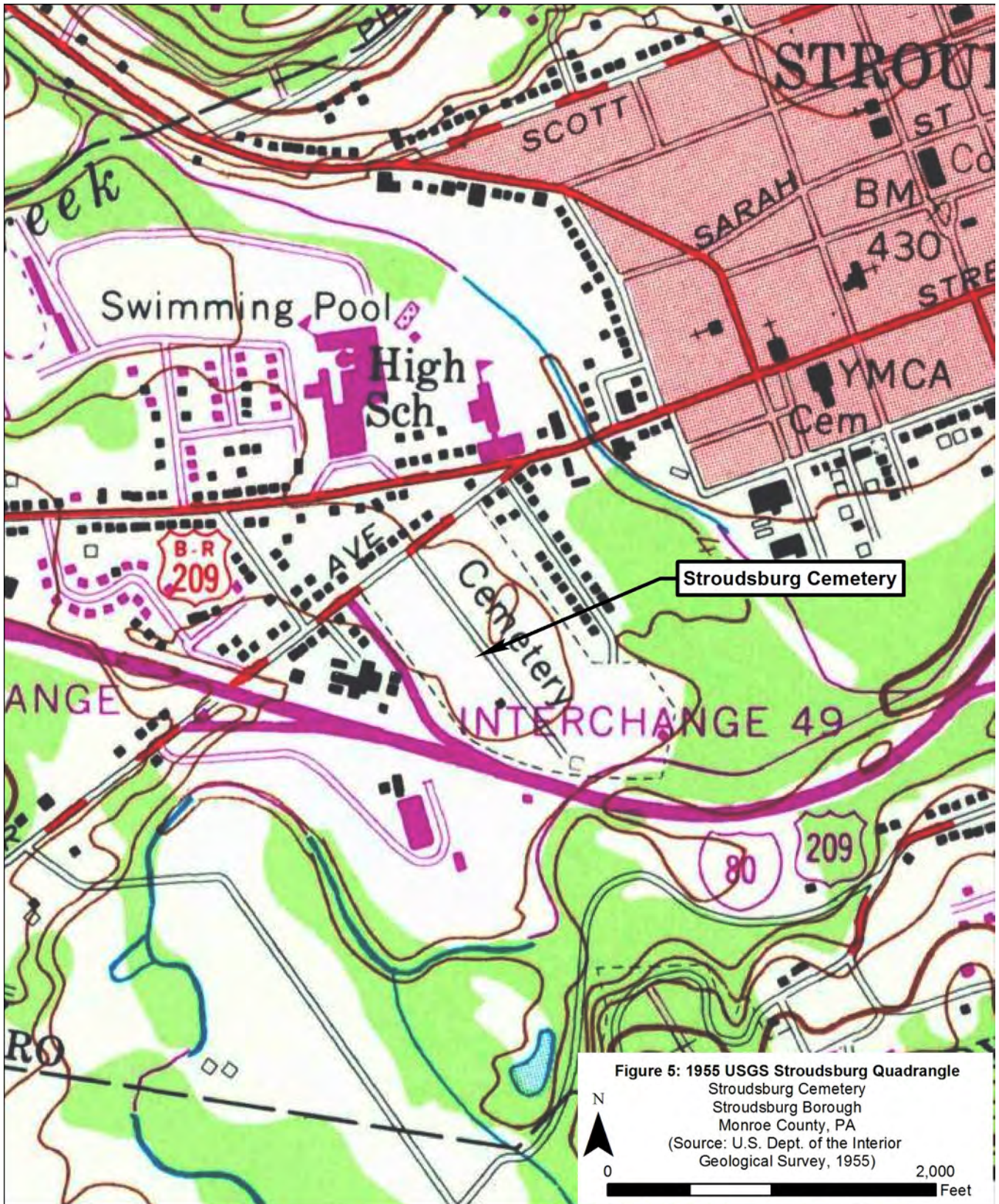
**Figure 3: 1870 Beers Map**  
Stroudsburg Cemetery  
Stroudsburg Borough  
Monroe County, PA  
(Source: F. W. Beers, "County Atlas of Monroe, Pennsylvania 1870")

Map Not to Scale









**Figure 5: 1955 USGS Stroudsburg Quadrangle**  
Stroudsburg Cemetery  
Stroudsburg Borough  
Monroe County, PA  
(Source: U.S. Dept. of the Interior  
Geological Survey, 1955)







## Physical Description and Integrity (Item 38)

Provide a current description of the overall setting, landscape, and resources of the property. See page 13 of the Instructions for detailed directions. Continue on additional sheets as needed. Suggested outline for organizing this section:

- Introduction [summarize the property, stating type(s) of resource(s) and function(s)]
- Setting [describe geographic location, streetscapes, natural/man-made landscape features, signage, etc.]
- Exterior materials, style, and features [describe the exterior of main buildings/resources]
- Interior materials, style, and features [describe the interior of main buildings/resources]
- Outbuildings/Landscape [describe briefly additional outbuildings/landscape features found on property, substitute Building Complex Form if preferred; See Instructions, page 18]
- Boundaries [explain how/why boundaries chosen, such as historic legal parcel, visual natural features such as tree lines, alley separating modern construction, etc.]
- Integrity [summarize changes to the property and assess how the changes impact its ability to convey significance]

The Stroudsburg Cemetery is located on the east side of Dreher Avenue, between Interstate 80 West (I-80W) and Main Street in the Borough of Stroudsburg. It is adjacent to the former site of the H. B. Marsh & Son, Inc. foundry to the west (**See Location Map**). The municipal cemetery is sited facing Dreher Avenue from the south. It is located in a residential area that consists primarily of mid-twentieth century housing, as well as industrial development and transportation networks, including Interstate 80 and SR 2004. The Stroudsburg Cemetery is set on rolling terrain, featuring gentle hills that are used to enhance the features of the cemetery (**Photographs 2 and 3**). Both paved and gravel roads allow unrestricted access throughout the grounds. In addition to the cemetery grid, the complex consists of the Stroudsburg Cemetery office, the Creekside Pet Crematory, the Stroudsburg Memorial, the Norton Mausoleum, St. George's Chapel, and a recently constructed garage (**See Site Map**). The cemetery complex contains 24.81 acres of land.

The Stroudsburg Cemetery is laid out in a grid pattern, with the vast majority of the markers arranged along a northwest/southeast orientation. Few landscape changes accompanied the construction of the cemetery. The steepest of the hills were graded to form a terrain of gently rolling hills, along with a small section of raised plots that was constructed in the northeast corner of the grounds. Other than these two changes the terrain was largely left intact. A cast-metal fence with ornamental picketed heads runs along the north, and a portion of the east boundary of the cemetery grounds, while a plain cast-metal rail fence runs along the west edge. Tree lines enclose the rest of the eastern and southern boundaries of the grounds. A few trees and shrubs, and no formal plantings are found within the Stroudsburg Cemetery (**Photographs 3 and 4**).

The Stroudsburg Cemetery encompasses 24.81 acres, making it a large cemetery for the area. It is laid out in multiple sections with the oldest section located approximately 400 feet south of Dreher Avenue. As the cemetery filled, more sections were created moving both northwest and southeast through the grounds. Initially there were no sectarian or denominational groupings present, but a Greek Orthodox section was added in the southeast corner of the grounds in the late twentieth century, and then expanded in 2014. Some important and wealthy families also created family plots with intricate monuments and granite or marble barriers around them. One such example of this is the Kitson Family plot, which is located in the northwest corner of the cemetery.

The main entrance to the Stroudsburg Cemetery is located off Dreher Avenue and provides access to the main thoroughfare throughout the cemetery. This paved road allee provides access to all of the other roads throughout the complex, as well as the numerous buildings found within the Stroudsburg Cemetery. This road is lined with trees on both sides, which creates an allee (**Photograph 1**). The cemetery is still in use, but presently it holds 17,147 plots. These range from the mid-to-late nineteenth century through the present. They consist mainly of granite and marble, with an occasional bronze marker found as well. The vast majority of these markers are either upright headstones or simple flat markers, yet many other types of markers are found throughout the grounds as well. These include obelisks, tables, steles, crosses, blocks, headstone and footstone combinations, as well as all of these forms in combination with pedestals and bases. Few of these monuments were signed by a carver, with J. E. Erdman of Monroe County Marble Works, in

Stroudsburg, and Monuments by Parise, in Carbondale, Pennsylvania, being the only two signatures located. Most of these graves, approximately 10,000, are fifty years or older, with the remaining 7,100 being less than fifty years old. The vast majority are in good condition; only approximately fifty of them are no longer legible, with another one hundred sunken or tilted, twenty-five are damaged or cracked, and five are broken. A wide variety of image motifs are found on these markers including an angel, bible, cross, dove, draped urn, upside down torch, weeping willow, lamb, sword, a rose, and other floral images. Many small flags are used as secondary markers to indicate the grave of one of the 976 veterans that are buried throughout the grounds.

Beginning at the entrance gate and moving southeast, the main road leads through the middle of the cemetery grounds with sections of graves located on both sides of this road. The first structure approached along this road is the Norton Mausoleum. Arguably the most prominent feature of the Stroudsburg Cemetery, the Norton Mausoleum is located in the northeast portion of the grounds (**Photograph 5**). This ornate mausoleum holds the remains of Colonel Emery Ebenezer Norton and his wife, Jeanette Norton. Built in 1891, the Gothic-Revival-style mausoleum has a concrete foundation and a gray granite exterior. Three flights of granite steps lead to the double-leaf, recessed-panel, stone doors. These doors are framed with a pointed, Gothic arch door surround, which contains a recessed multifoil with eight lobes. This surround is supported by abbreviated Corinthian columns, which shows a distinct element of its Greek Revival influence. Directly above this arch, and set within a quartrefoil, is a circular date stone that reads "1891." A stained glass fanlight is located within the hipped roof section on both the north and south elevations of the mausoleum. The multi-pane fanlight on the north elevation has numerous broken lights. A greystone spire sits atop the hipped stone roof. A circular room is located on the south elevation. It has a domed roof equipped with a stone finial, and a single, long, narrow window.

Moving further southeast along the main road leads to the Stroudsburg Memorial. It is a one-story, three-bay, Neoclassical-style mausoleum, which was built in 1918 (**Photographs 6 and 7**). It has a concrete foundation, Indiana limestone exterior, and a flat roof. The most prominent feature of this mausoleum is the partial height entrance with smooth ionic columns. Marble steps lead to large, metal, double-leaf doors that are centrally located within this entrance. The rectangular building has a large parapet along the north facing façade, as well as the east and west elevations. A plain protruding frieze band is located just above the roofline along the parapet. A set of ribbon windows is located on both the east and west elevations. This mausoleum remains in use, and, at the time of this writing, has 154 people entombed within it.

Moving further towards the rear of the cemetery grounds, the next building approached is the Stroudsburg Cemetery office. This is a mid-twentieth century building with no readily identifiable style (**Photograph 9**). It was originally built as a one-story, three-bay building, but now includes two, one-story shed-roof additions to the south elevation. It has a concrete block foundation and exterior, and a front-gabled, asphalt-shingle roof with exposed rafter tails. The fenestration includes one-over-one, double-hung windows with aluminum sash that are covered with cast-metal bars. These windows have concrete sills and lintels. Two of the other original windows have been infilled with concrete block. A roll-up wood garage door is found on the south end of the west elevation. An interior brick chimney is centrally located on the north sloping gable. A total of three crematories are located within this building. An exhaust stack for one crematory is located on the north sloping gable. A second exhaust stack is located on the south sloping gable. The shed-roof addition to the south elevation includes a third exhaust stack, which is located on the west end of this shed-roof. A second shed-roof addition is located on the east end of the south elevation. This addition functions as a garage, and is equipped with a large, roll-up garage door.

Located just southeast of the cemetery office is the Creekside Pet Crematory (**Photograph 10**). This is a one-story, one-bay, late-twentieth century building. It has a concrete foundation, vertical board exterior, and a front-gabled, asphalt-shingle roof. A roll-up aluminum garage door covers the façade. An aluminum



door is located on the north end of the west elevation. Two metal vent caps are located on the west sloping gable. The exhaust stack for the crematory is located on the east sloping gable.

Key #	038809
ER#	2013-8131-089

A late-twentieth century garage is located just west of the Creekside Pet Crematory (**Photograph 10**). It has a concrete foundation, vertical board exterior, and a front-gabled, asphalt-shingle roof. A roll-up aluminum garage door covers the façade.

The last structure within the Stroudsburg Cemetery is St. George's Chapel. It is a one-story, one-bay, late-twentieth century Neo-Greek Revival-style shrine (**Photograph 8**). It has a concrete foundation, stucco exterior, and a front-gabled, asphalt-shingle roof. An arched overhang covers the entrance. This overhang is supported by unfluted, Doric columns, which sit atop a marble slab stoop. Raised-panel double-leaf wood doors are centrally located along the north facing façade.

### Integrity

In order to be considered historic, a property must retain integrity to convey its significance. The seven aspects of integrity for historic properties have been developed include location, design, setting, materials, workmanship, feeling, and association. The Stroudsburg Cemetery is an example of a common mid-nineteenth century cemetery that has undergone expansion throughout the twentieth and early twenty-first centuries. Few, if any, of the markers display distinctive design qualities. The two most prominent structures within the complex are the Norton Mausoleum and the Stroudsburg Memorial. The mid-twentieth century cemetery office has seen several additions and significant alterations. Several late twentieth century structures have been built within the grounds, including the Creekside Pet Crematory, St. George's Chapel, and a front-gabled garage. Additions and alterations have reduced the overall integrity of materials, along with a significant lack of cohesion among the various buildings and elements which diminishes its integrity of design. The integrity of setting for the Stroudsburg Cemetery was diminished with the introduction of I-80 in 1963, which led to the loss of much of its original rural setting. These changes have diminished its association and feel as a part of the mid-nineteenth century rural cemetery movement. Overall, the Stroudsburg Cemetery is a typical, mid-to-late nineteenth century cemetery that has undergone significant expansion throughout the twentieth and early twenty-first centuries, and lacks a cohesiveness of design and architectural distinction.

## History and Significance (Item 39)

Key # 038809

ER# 2013-8131-089

Provide an overview of the history of the property and its various resources. Do not substitute deeds, chapters from local history books, or newspaper articles. See page 14 of the Instructions for detailed directions. Continue on additional sheets as needed. Suggested outline for organizing this section:

- History [Summarize the evolution of the property from origin to present]
- Significance [Explain why the property is important]
- Context and Comparisons [Describe briefly similar properties in the area, and explain how this property compares]

---

### Resource History

The Stroudsburg Cemetery (Key #038809) was originally surveyed by the Monroe County Planning Commission, but it was not evaluated for the National Register of Historic Places at that time. The tract of land that is currently the Stroudsburg Cemetery is located on Dreher Avenue on the west end of Stroudsburg. In the mid-nineteenth century, the citizens of Stroudsburg recognized the need for a municipal cemetery. To solve this problem, a group of citizens, headlined by Stroud Burson, S. J. Hollinshead, William Davis, and Simon Barry, among others, submitted an application for incorporation of the Stroudsburg Cemetery to the Court of Common Pleas of Monroe County. The Decree of Incorporation was granted on May 26, 1864 (Mathews 1886). The subsequent election named the following as the officers of the Stroudsburg Cemetery: William Davis, president; A. Reeves Jackson, secretary; and Samuel S. Dreher, James Boys, Jacob L. Wyekoff, William S. Rees, A. Reeves Jackson, Richard L. Staples, and William Davis, managers (Mathews 1886). The initial seven acres used to create the cemetery were donated by Jacob Singmaster, owner of the Singmaster Tannery in Stroudsburg. This land was transferred with the condition that a sum of one thousand dollars would be spent in fencing and improving the land (Mathews 1886). While initially located outside the borough, the cemetery was quickly incorporated into Stroudsburg. With high demand for lots and the cemetery quickly filling, an addition was deemed necessary. A second tract of land, seven acres and two perches, was purchased from Jacob's son, Henry, in 1879, for \$1,398 (Monroe County Deed Book 28: 470). Further improvements were made after this addition, including additional fencing, systematically laying out the plots, and grading and planting the grounds (Evans 1897).

Further expansion of the Stroudsburg Cemetery continued into the twentieth century. The Norton Terrace, a section centered on the Norton Mausoleum, was laid out by J. L. Westbrook in January 1924. In August 1933, J. L. Westbrook surveyed an additional two sections that were added to the cemetery grounds. These two sections are located in front of the current site of the Stroudsburg Cemetery office. On August 23, 1974, the Stroudsburg Cemetery was expanded yet again, this time from land purchased from the Redevelopment Authority of the County of Monroe (Monroe County Deed Book 584: 246). A final addition was added to the southeast corner of the cemetery grounds in 2014. This addition, located in front of St. George's Chapel, is important as it expanded the Greek Orthodox section of the cemetery, and signifies the only existing religious grouping within the grounds. The Stroudsburg Cemetery currently contains 24.81 acres of land.

The Stroudsburg Cemetery is owned by the Stroudsburg Cemetery Association, and is overseen by a board of directors. This seven-person board is currently headed by President Jeff Wright. The daily maintenance of the grounds is managed by H. G. Smith Crematory. Overall, there are 17,147 filled plots within the cemetery.

The two most prominent people within the Stroudsburg Cemetery are John Summerfield Staples and Emery Ebenezer Norton, who is buried in the large mausoleum that sits in the northeast section of the cemetery. John Summerfield Staples (1843-1888) is famous for being the representative recruit for Abraham Lincoln in the Civil War. He initially enlisted with the 176<sup>th</sup> Company of the Pennsylvania Infantry as a substitute for Robert Barry on Nov. 3, 1862. He was stationed in Hilton Head, South Carolina, but quickly contracted typhoid fever and was subsequently medically discharged on May 5, 1863 (Koehler 1950). At this point in the war, the Provost Marshal of the War Department, General J. B. Frey, dramatized the recruitment process



by calling on men that were ineligible to fight to find eligible volunteers to fight in their place (Koehler 1950). In 1864, after moving to Washington, D. C. to work in the navy yard, Staples was approached by Noble D. Larner to be Lincoln's substitute (Appel 1995). Staples happily accepted the offer and earned \$500 to serve as Lincoln's representative recruit. Until he was mustered out on Sept. 12, 1865, he served in the 2<sup>nd</sup> District of Columbia Infantry as a clerk and prison guard in Washington, D.C. (Koehler, 1950). John Summerfield Staples eventually died from a heart attack on January 11, 1888 (Leiser 2007). His grave is located just southeast of the Norton Mausoleum. A historical marker was erected just east of the cemetery's front entrance by the Lehigh Valley Association Sons of Union Veterans of the Civil War and their Ladies Auxiliaries. In 1999, the Pennsylvania Historical and Museum Commission erected a historical marker commemorating Staples, and his connection to Lincoln, along West Main Street (Leiser 2007). Staples' headstone was destroyed, and subsequently replaced, at some point between 1989 and 2012.

The other prominent feature of the Stroudsburg Cemetery is the Norton Mausoleum. This temple-like mausoleum houses the remains of Colonel Emery Ebenezer Norton and his wife, Jeanette (Leiser 2008). Norton was born on May 4, 1816, in Allegheny County, New York (The Daily States, Feb. 13, 1901). He served in the Union Army during the Civil War, but controversy persists as to the highest rank he achieved. It is known that he attained at least the role of Captain, which he achieved on February 27, 1863 (The Daily States, February 13, 1901). After resigning on January 7, 1864, Norton opened a very profitable law firm in New Orleans (The Daily States, February 13, 1901). Not long afterward, he purchased the former John Malven farm along West Main Street in Stroudsburg, which served as his summer home (The Jeffersonian Republicans Feb. 3, 1887). Emery Ebenezer Norton bought a plot at the Stroudsburg Cemetery on January 17, 1885 (Monroe County Deed Book 34: 331). It was here that he built his lavish, late Gothic Revival style mausoleum. The Norton Mausoleum served as a continuation of his life of grandeur, with its tall, greystone spire, and parquet floor interior. After Jeanette's death on January 26, 1887, her remains were placed inside an expensive, frosted gold-colored, air-tight steel casket, which was deposited into the newly erected vault (The Jeffersonian Republicans Feb. 3, 1887). Emery's remains were also interred inside the mausoleum upon his death on February 11, 1901 (Leiser 2008). In 1948, amid constant rumors of jewels buried with the Norton's, thieves broke into the mausoleum and smashed through the glass over one of the caskets (Leiser 2008). To prevent further vandalism, the stone doors of the mausoleum have been locked to the public ever since. Other than this small change, the Norton Mausoleum remains in essentially the same condition as originally, and stands as a prominent feature of the cemetery's mid-nineteenth century development.

One other important aspect of the Stroudsburg Cemetery that warrants discussion is the vast number of veterans buried within its grounds. As of June 2012 there were 976 veterans buried in the cemetery (Bogurt 2013). The first veteran buried here was George H. Smith, a Civil War casualty who died in 1863 (Bogurt 2013). Another interesting veteran found at the Stroudsburg Cemetery is John Staples, the great-grandfather of John Summerfield Staples. The elder Staples was a Revolutionary War veteran that was originally buried at the Dansbury Cemetery on Main Street, but was transferred to the Stroudsburg Cemetery in 1864 (Appel 1995). The other veterans include, one soldier from the War of 1812, 262 Civil War soldiers, thirty-five veterans of the Spanish-American War, 205 World War I soldiers, 364 World War II soldiers, seventy-three from the Korean War, forty from the Vietnam War, two from the Global War on Terror, and nine that have been casualties in peacetime (Bogurt 2013).

### Historic Context

The earliest American cemeteries were primarily private, small, crowded, and urban in nature. These sites were often located in conjunction with a church. The rural cemetery movement, which began in England and France in the early nineteenth century, before coming to America in the 1830s, changed these ideals. It drastically changed cemeteries into something that was comprehensively designed and managed by full-time

professionals tasked with the ideal of providing perpetual care to every lot within the grounds (Potter and Boland 1992: 5). These nonsectarian cemeteries were privately owned and operated, and often designed by the finest architects in the cities. They displayed monuments, obelisks, and mausoleums, and were often enclosed by carved granite curbing and iron fencing.

The rural cemetery movement was based on the keynotes of natural beauty and economy. With this as a framework, cemeteries began to be designed on the outskirts of cities to enable them to be spacious, landscaped burial grounds. These grounds were predominantly located on high ground that offered pristine views not possible from any other locations in the area. By the mid-1830s, the three major cities in the United States, Boston, New York, and Philadelphia, had established large rural cemeteries on sites carefully chosen for accessibility and natural beauty (Potter and Boland 1992: 6).

New European trends in landscaping played a major factor in this movement as well. The largest and steepest of the hills were smoothed of roughness to create a more picturesque locale. Masses of trees were thinned out, hilly sides were graded, and masses of plants were positioned in areas that directed views onto the broad vistas. Along with these landscape principles, the creation of large gardens within the cemetery grounds allowed rural cemeteries to become pseudo public parks. They were often seen as not only a burial place, but as places of respite and recreation for their communities.

Another major factor in the rural cemetery ideal was the gateway. This clear delineation was often produced through the use of a gatehouse and fencing that symbolically separated the burial grounds from the clamor of everyday life. A winding drive of gradual ascent was commonly constructed as a way of intentionally slowing progress throughout the grounds. Both of these features were utilized to stir an appreciation of nature and a sense of the continuity of life, central tenets of the rural cemetery movement. Throughout Pennsylvania the rural cemetery movement flourished, with National Register listed rural cemeteries in Easton, Lancaster, Harrisburg, and Pittsburgh, among others.

Further changes occurred with regard to the rural cemetery movement in the late nineteenth and early twentieth centuries. The two major factors that influenced these changes were the cremation movement, and the "City Beautiful" movement. The cremation movement was influenced by the ideals of efficiency and land conservation, which gained steam around the turn of the century from the emergent knowledge of a steadily growing population (Potter and Boland 1992: 11). These reformers pushed for the revival of the practice of incineration and urn burial as a mode of land conservation and improved public health. Crematories, columbariums, and community mausoleums became common in rural cemeteries, which greatly expanded the number of burials they could hold while sacrificing the least amount of ground space (Potter and Boland 1992: 11).

The "City Beautiful" movement was the second major factor affecting changes in American cemeteries around the turn of the century. After 1900, cemeteries took on aspects of formal landscape planning and had a renewed interest in the formal gardens of the Italian style (Potter and Boland 1992: 6). Classical formality was brought into cemetery landscapes in an axial alignment that brought the principal avenues of approach to building fronts. Cross axis were often terminated by rostrums, exedras, and other common focal features in classical architecture. By the 1930s, cemeteries furthered their focus on classical architecture and modernism by adapting a preference for buildings and monuments that were stripped of excessive decoration (Potter and Boland 1992: 6). The purity and simplicity of Greek architecture became the approved model of monuments from this point forward.

The second phase of cemetery development, the Lawn-Park, occurred around 1900 and continued into the 1920s. The "City Beautiful" movement was very influential in this new style of cemetery. Lawn-Park cemeteries were also typified by a pastoral, park-like setting, but did not possess the carefully constructed views of the rural cemeteries since many communities had begun to develop park systems that offered



recreational opportunities without the presence of burials by this point. Lawn-Park cemeteries were more formal in appearance, with family monuments set in open lawn areas.

Unlike the rural cemeteries, few trees and shrubs interrupted the large expanses of lawn. Technological advances in equipment, along with changing attitudes toward death, strongly influenced and allowed these changes to occur. Another important change that dealt with the grouping of graves occurred with the introduction of Lawn-Park cemeteries. Contrary to rural cemeteries which were nonsectarian, sections, or in some cases, entire lawn-parks were devoted to specific religious or ethnic groups. This trend abruptly changed course on the predominantly non-denominational aspects of the earlier rural cemetery movement.

The final phase of cemetery development was the Memorial Park, which began in 1913 and continues to the present day. This movement began with the establishment of the Forest Lawn Memorial Park in Glendale, California. The Memorial Park cemetery features several significant changes from the earlier movements. Though still somewhat pastoral in nature, the suburban influence is highly evident. There is also a much greater emphasis on uniformity. Burial markers are primarily flush with the ground or have headstones that are placed in uniform rows of straight plots. These headstones are often similar in size and organized in back-to-back placement patterns. Very limited, or no vegetative development, is included in these cemeteries. The increased emphasis on automobile travel of Memorial Park cemeteries ran opposed to the primarily pedestrian circulation networks of the earlier movements. These cemeteries are governed by strict guidelines that monitor and maintain this imposed uniformity.

The Stroudsburg Cemetery contains several fundamental features of the rural cemetery movement, including the winding drive, and spacious, open burial grounds. There are also several important features of this movement that are absent in this cemetery. There have been few major landscape changes within the grounds; the rolling terrain was only slightly graded to smooth out the most drastic hills in the 1870s and a small section of raised plots was constructed in the northeast corner of the grounds. Other than these two changes, the terrain has been left intact. There are also no prominent sections of gardens or plantings, which are important within the rural cemetery movement. The Stroudsburg Cemetery lacks a gatehouse, an integral element that helps separate the tranquil world of the rural cemetery from the clamor of the everyday world. The cremation movement, with its increased focus on efficiency and land conservation, is also encompassed within the period where the Stroudsburg Cemetery was being built and expanded. While many of the fundamental elements of this movement are found within the Stroudsburg Cemetery, several vital features are also missing. The focus on efficiency and land conservation falls in line with the three crematories that are located within the Stroudsburg office. A pet crematory is found immediately southeast of the office, but it was a late twentieth century addition and does not fit within the time period of the cremation movement. Another important feature of this movement was the community mausoleum and columbarium. The Stroudsburg Memorial is a community mausoleum built in 1918, which is still currently in use. This building fits with the ideals of land conservation and efficiency espoused by the cremation movement. The second mausoleum found within the Stroudsburg Cemetery, the Norton Mausoleum, was built in the middle of the cremation movement in 1891. This personal mausoleum goes directly against the tenants of land conservation and efficiency. While the Stroudsburg Cemetery does include some important features of the two major movements, it also lacks several of their most integral elements.

Five other cemeteries have been surveyed within Monroe County. The Hickside Quaker Cemetery, the Orthodox Quaker Cemetery, and the McComas Chapel site and cemetery have been surveyed but were not evaluated for the National Register. They are all pre-1830, and closely connected to churches and meeting houses. The Sand Hill cemetery, in Middle Smithfield Township, was determined not eligible on April 29, 2011. This cemetery was also built pre-1830 with different trends and stylistic designs, and therefore does not provide a good comparison either. The Hollinshead Cemetery is located in close proximity to the Stroudsburg Cemetery. It was built as a small family plot much earlier than the Stroudsburg Cemetery and has not yet been evaluated. The Prospect Cemetery (Key # 200944) in East Stroudsburg is the closest parallel to the Stroudsburg Cemetery. It was developed in 1895 during the rural cemetery movement, and

has seen little renovation and expansion since. This cemetery was evaluated and determined not eligible on July 23, 2014.

Key #	038809
ER#	2013-8131-089

### National Register of Historic Places Evaluation

The Stroudsburg Cemetery was surveyed (Key #038809) as part of a Monroe County Planning Commission architectural survey; though no eligibility recommendation was given at the time. It was noted that the cemetery was originally incorporated in 1864, and expanded in 1879. It contained various tombstones, mausoleums, and memorial markers spanning from the mid-nineteenth century to the present. No photographs accompanied this survey form.

The Stroudsburg Cemetery was evaluated according to the criteria set forth in National Register Bulletin 15: "How to Apply the National Register of Evaluation." Cemeteries and graves are ordinarily not considered eligible for inclusion in the National Register of Historic Places unless they meet special requirements. To qualify for listing in the National Register, a cemetery or grave must meet not only the basic requirements under Criteria A (Association of events), B (association with people), C (design), or D (potential to yield information important to history or prehistory), but also the special requirements of Criteria Considerations C or D. As evaluated under Criterion A, the Stroudsburg Cemetery is not associated with any important historic events or trends. While it was a part of the late nineteenth to early twentieth century rural cemetery movement, it was a later addition, and is missing several of the important elements of this trend, including major landscape changes and large picturesque gardens and plantings. As evaluated under Criterion B, the Stroudsburg Cemetery is not known to be associated with any individuals of outstanding local, state, or national significance. John Summerfield Staples is best known as the representative recruit for Abraham Lincoln, but his local and national significance does not rise to the point of eligibility. As evaluated under Criterion C, the Stroudsburg Cemetery is not eligible for the National Register of Historic Places. It is not noteworthy of a certain period or style, and has no elaborate circulation networks, or the significant landscape designs and plantings common in the rural cemetery movement. The markers do not represent the work of a master artist, and are not considered outstanding examples of any type found within the cemetery. It contains several architectural elements from its late nineteenth and early twentieth century rural construction, but is not recognized for its concentration of architecturally distinct elements. The additions and alterations have diminished the association to its original period of construction. Overall, there is little architectural cohesiveness among the design elements found throughout. Archaeological investigations have not been conducted on the property; therefore, the resource's eligibility under Criterion D (potential to yield information important to history or prehistory) cannot be assessed at this time.

Certain types of properties, including cemeteries and graves, must meet special criteria considerations along with the basic eligibility requirements. With regard to cemeteries and graves specifically, Criteria Consideration C and D must be evaluated. As evaluated under Criterion Consideration C, the Stroudsburg Cemetery is not associated with any historical figures of outstanding importance where the grave is the most appropriate site associated with his or her productive life. None of the figures associated with this cemetery have made contributions to local, state, or national history that were known to be truly extraordinary. As evaluated under Criterion Consideration D, the Stroudsburg Cemetery does not derive significant importance from the graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events. This cemetery was not among the earliest examples of the rural cemetery movement, and does not play a significant role in any other major trends of the time. While architectural elements of this period are present in its structures and overall landscape design, continued development has diminished the feeling and association with the rural cemetery movement of the late nineteenth and early twentieth centuries.

Overall, the Stroudsburg Cemetery is recommended **not eligible** for the National Register of Historic Places.



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Photograph 1: View looking southeast at the entrance gate and main road through the Stroudsburg Cemetery.



Photograph 2: View looking east at the northeast quadrant of the cemetery.





Photograph 3: View looking northwest at the northwest quadrant of the cemetery from the Stroudsburg Memorial.



Photograph 4: View looking northwest at the cemetery grounds towards the Norton Mausoleum from the road east of the Stroudsburg Memorial.



Photograph 5: View looking southeast at the north facing façade of the Norton Mausoleum.





Photograph 6: View looking south at the north and east elevations of the Stroudsburg Memorial.



Photograph 7: View looking north at the south and west elevations of the Stroudsburg Memorial.





Photograph 8: View looking southeast at the north and west elevations of the Stroudsburg Cemetery office building.



Photograph 9: View looking east at the west and north elevations of the Creekside Pet Crematory and a late twentieth century garage.





Photograph 10: View looking east at the west and north elevations of St. George's Chapel.



Photograph 11: View looking northwest at the headstone of John Summerfield Staples.



# Historic Resource Survey Form

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION  
 Pennsylvania State Historic Preservation Office (PA SHPO)

Key # _____
ER# <u>2013-8131-089</u>

## Name, Location and Ownership *(Items 1-6; see Instructions, page 4)*

**HISTORIC NAME:** H.B. Marsh & Son, Inc.

**CURRENT/Common NAME:** Multiple commercial businesses, including Ms. Katy's Dance Studio, Dawe's Motorsports, Dark Knight Wrestling, Pocono Tire & Brake Company, and JR Drywall & Steel Framing Inc.

**STREET ADDRESS:** 11 Foundry Street, Stroudsburg, PA **ZIP** 18360

**LOCATION:** Adjacent to I-80 to the south, the Stroudsburg Cemetery to the east, and approximately 300 feet south of Dreher Avenue to the north.

**MUNICIPALITY:** Borough of Stroudsburg **COUNTY:** Monroe

**TAX PARCEL #/YEAR:** 18-4/1/6/40 **USGS QUAD:** Stroudsburg, PA

**OWNERSHIP**       **Private**  
                           **Public/Local**    **Public/County**    **Public/State**    **Public/Federal**

**OWNER NAME/ADDRESS:** Dreher Avenue Holdings LLC; 108 Cherry Valley Point, Stroudsburg, PA 18360

**CATEGORY OF PROPERTY**    **Building**    **Site**    **Structure**    **Object**    **District**

**TOTAL NUMBER OF RESOURCES:** 3

## Function *(Items 7-8; see Instructions, pages 4-6)*

Historic Function	Subcategory	Particular Type
<u>Industry/Processing/Extracting</u>	<u>Manufacturing Facility</u>	<u>Foundry</u>
<u>Domestic</u>	<u>Multiple Dwelling</u>	<u>Duplex</u>
_____	_____	_____
Current Function	Subcategory	Particular Type
<u>Commerce/Trade</u>	<u>Warehouse</u>	<u>Warehouse and storage facility</u>
<u>Commerce/Trade</u>	<u>Specialty store</u>	<u>Dance studio</u>
<u>Commerce/Trade</u>	<u>Business</u>	<u>JR Drywall &amp; Steel Framing Inc.</u>
<u>Domestic</u>	<u>Multiple Dwelling</u>	<u>Duplex</u>

## Architectural/Property Information *(Items 9-14; see Instructions, pages 6-7)*

### ARCHITECTURAL CLASSIFICATION

<u>Vernacular</u>	<u>Foursquare</u>
<u>Other</u>	_____
_____	_____

### EXTERIOR MATERIALS and STRUCTURAL SYSTEM

Foundation	<u>Concrete and concrete block</u>
Walls	<u>Brick, Stuccoed brick, concrete block, stuccoed concrete block, vertical board and batten siding, standing-seam metal</u>
Roof	<u>Asphalt shingle, corrugated metal, tile, standing-seam metal</u>
Other	_____
Structural System	<u>Steel frame, frame</u>

**WIDTH:** (feet) or 2, 3, 4, 8 (# bays)      **DEPTH:** (feet) or 1, 2, 3, 5 (# rooms)      **STORIES/HEIGHT:** 1, 2, 2 1/2

**Property Features** (Items 15-17; see Instructions, pages 7-8)

Setting: Urban

**Ancillary Features**

Metal fence along the east edge of the property

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Acreage: 2.9 (round to nearest tenth)

**Historical Information** (Items 18-21; see Instructions, page 8)

Year Construction Began: 1902  Circa      Year Completed 1960  Circa

Date of Major Additions, Alterations   1925  Circa      1940  Circa      1950  Circa

Basis for Dating    Documentary    Physical

Explain: Based upon a physical inspection and documentary sources.

Cultural/Ethnic Affiliation(s): None

Associated Individual(s): John Marsh; Eugene Marsh; Horace B. Marsh; George Schaeffer; Carl Adelman

Associated Event(s): None

Architect(s): Unknown

Builder(s): Unknown

**Submission Information** (Items 22-23; see Instructions, page 8)

Previous Survey/Determinations: None

Threats    None    Neglect    Public Development    Private Development    Other

Explain: The property is located within the APE established for the proposed SR 0080-17M, Interstate 80 (I-80)

Reconstruction Project

This submission is related to a  non-profit grant application    business tax incentive

NHPA/PA History Code Project Review    other

**Preparer Information** (Items 24-30; see Instructions, page 9)

Name & Title: Joseph Jasinski, M.A.

Date Prepared: 5/12/2016

Project Name: SR 0080-17M, Interstate 80 (I-80) Reconstruction Project

Organization/Company: McCormick Taylor, Inc.

Mailing Address: 5 Capital Drive, Suite 400, Harrisburg, Pennsylvania 17110

Phone: 717-540-6040

Email: JAJasinski@mccormicktaylor.com



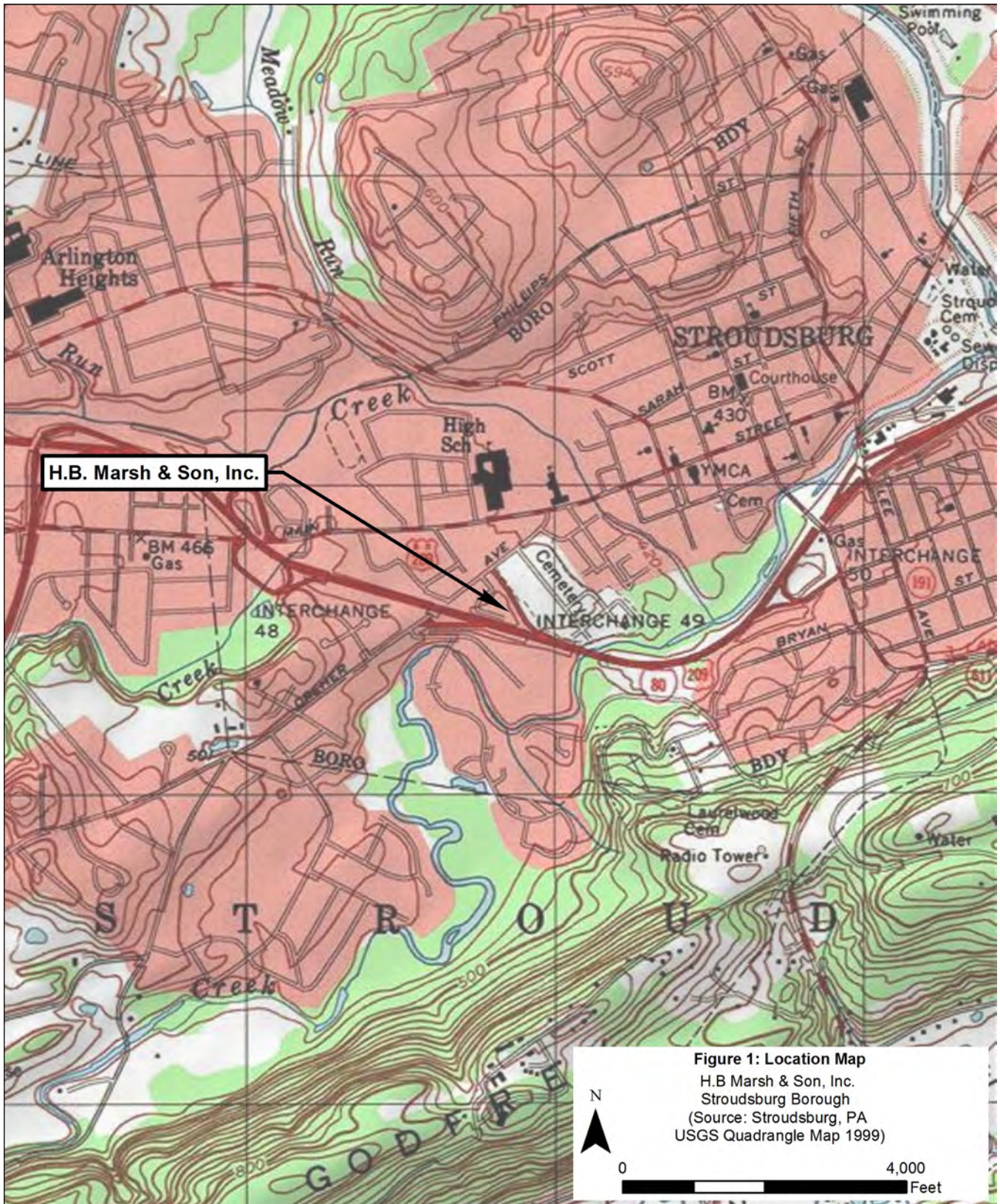






### Location Map (Item 34)

See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.





**Site Plan** (Item 35)

See page 11 of the Instructions for more information regarding the floor plan. Provide a floor plan for the primary buildings, showing all additions. Label rooms and note important features. Note the date of additions. Include a North arrow and a scale bar (note if scale is approximate) or indicate width/depth dimensions. This sheet may be used to sketch a floor plan or another map/plan may be substituted.





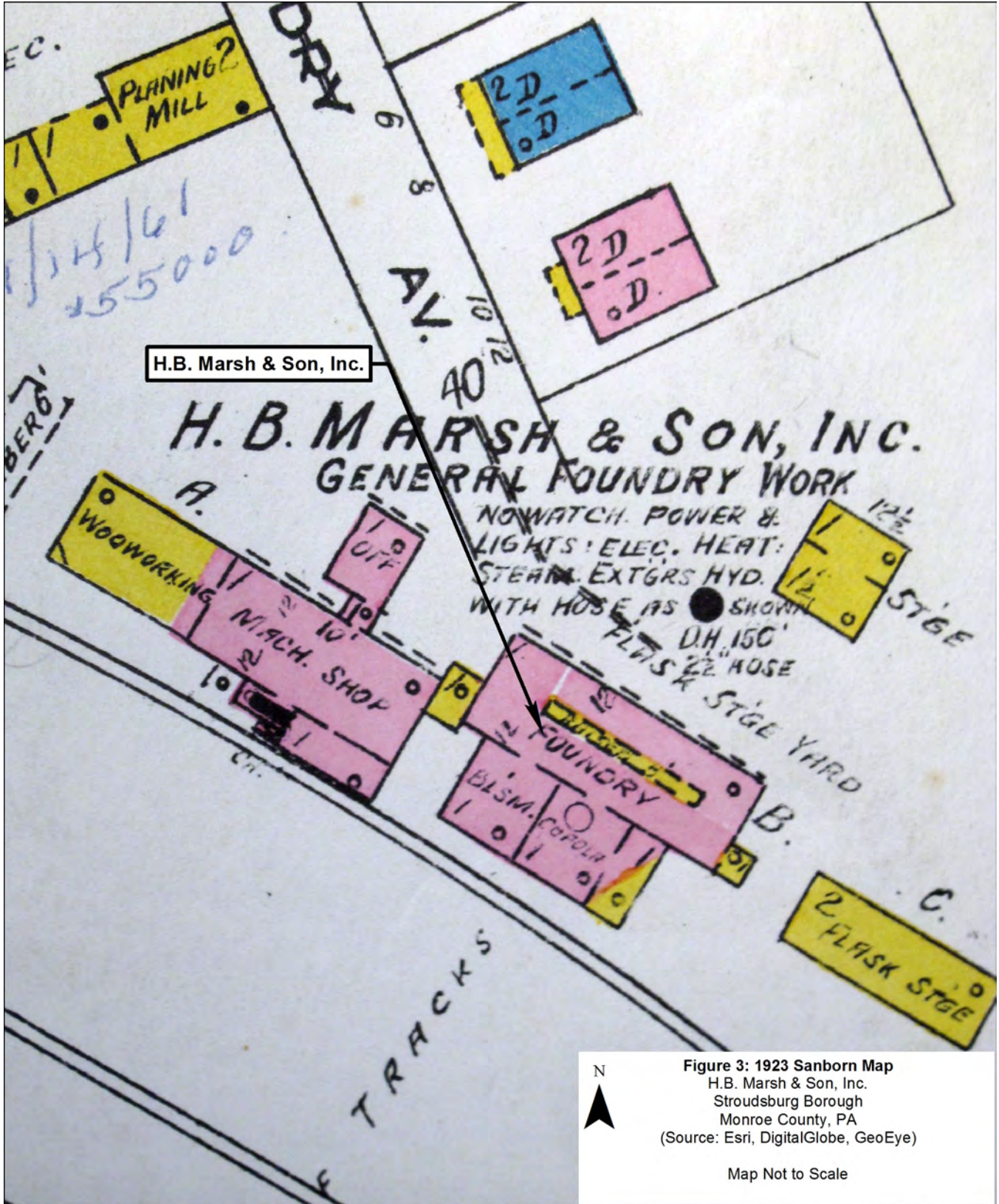


Figure 3: 1923 Sanborn Map  
H.B. Marsh & Son, Inc.  
Stroudsburg Borough  
Monroe County, PA  
(Source: Esri, DigitalGlobe, GeoEye)

Map Not to Scale

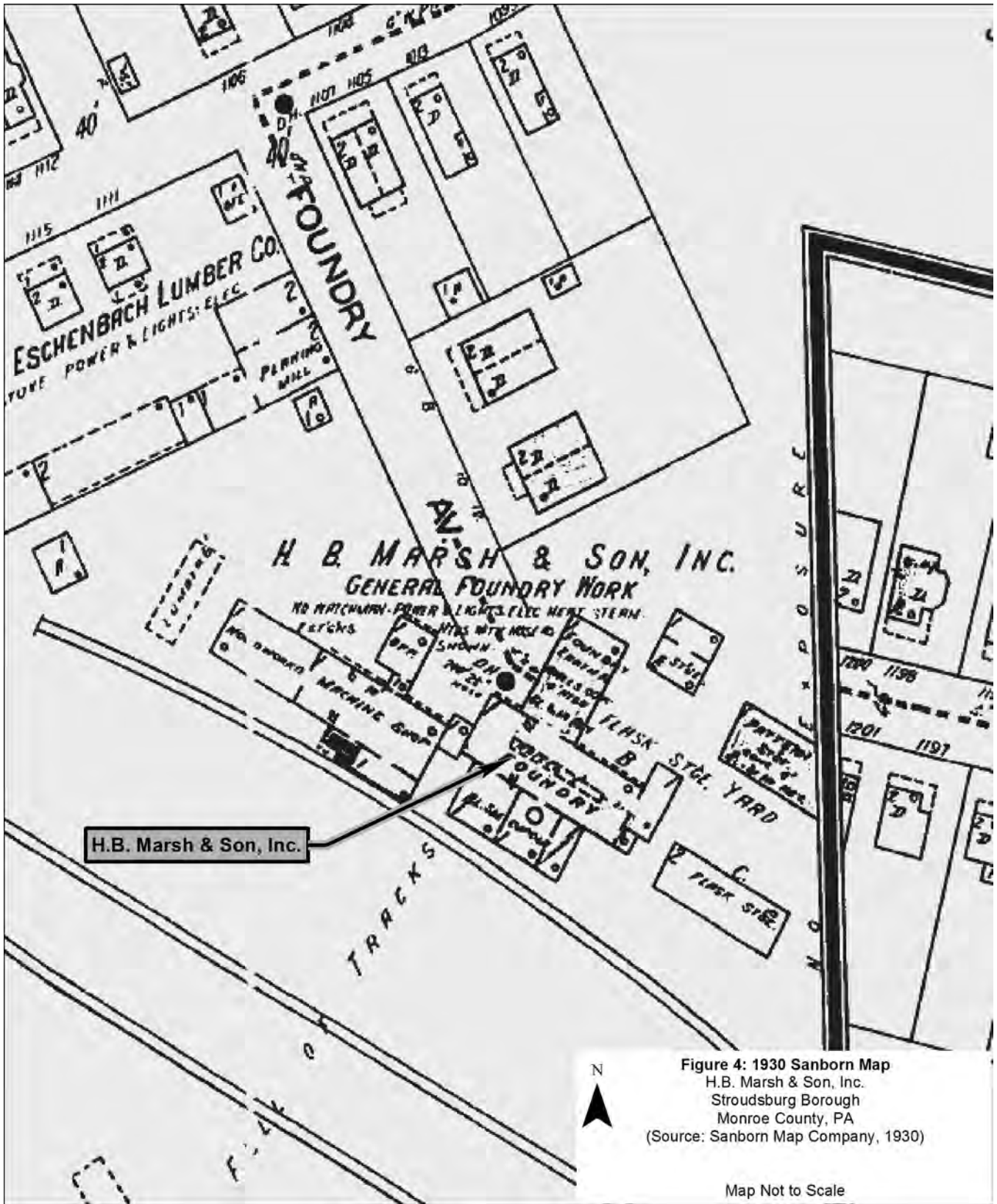


Figure 4: 1930 Sanborn Map  
H.B. Marsh & Son, Inc.  
Stroudsburg Borough  
Monroe County, PA  
(Source: Sanborn Map Company, 1930)

Map Not to Scale



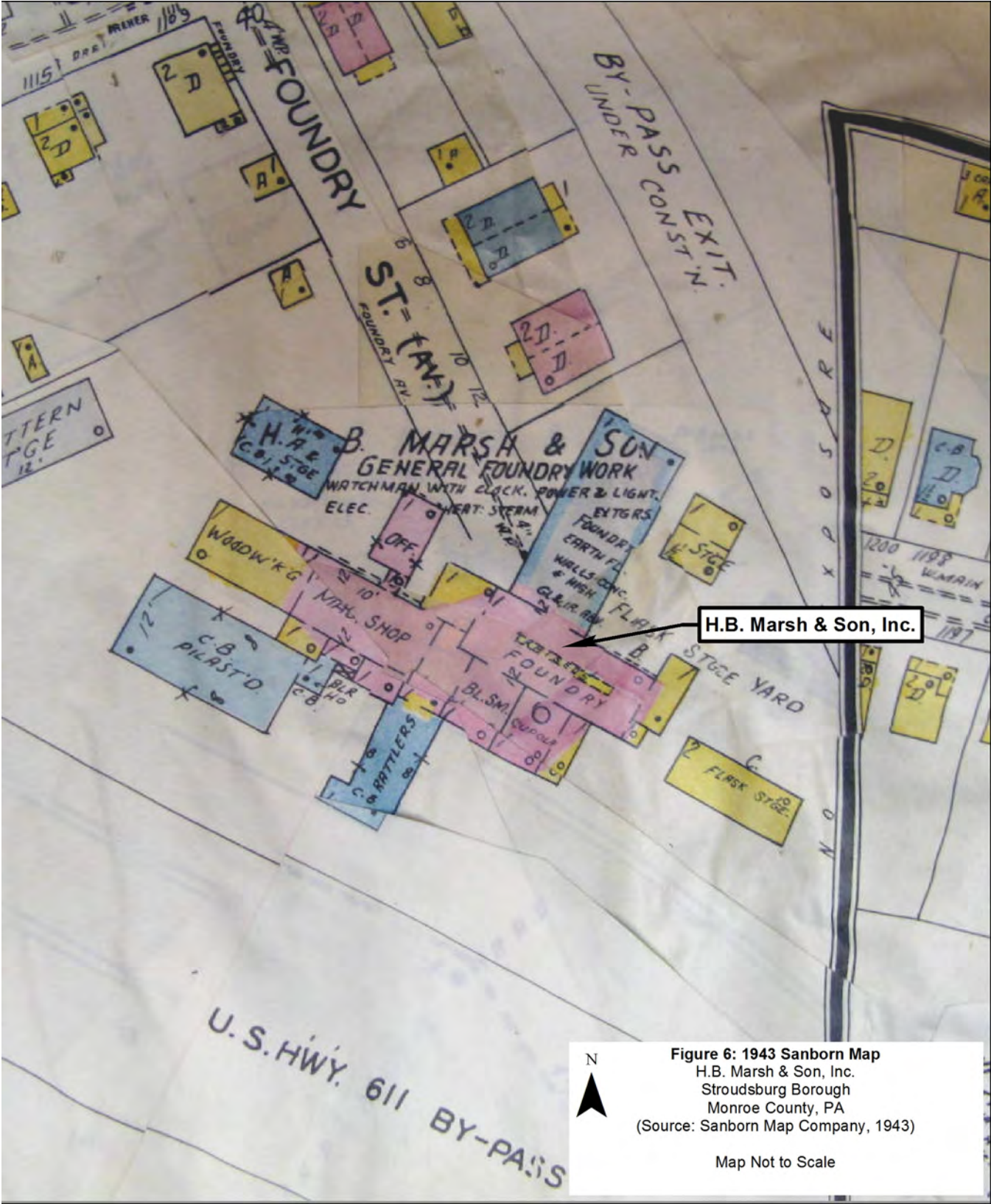


H.B. Marsh & Son, Inc.



**Figure 5: 1939 Aerial Photograph**  
H.B. Marsh & Son, Inc.  
Stroudsburg Borough  
Monroe County, PA  
(Source: PennPilot, 1939)

0 500  
Feet



**Figure 6: 1943 Sanborn Map**  
H.B. Marsh & Son, Inc.  
Stroudsburg Borough  
Monroe County, PA  
(Source: Sanborn Map Company, 1943)  
Map Not to Scale









## Physical Description and Integrity (Item 38)

Provide a current description of the overall setting, landscape, and resources of the property. See page 13 of the Instructions for detailed directions. Continue on additional sheets as needed. Suggested outline for organizing this section:

- Introduction [summarize the property, stating type(s) of resource(s) and function(s)]
- Setting [describe geographic location, streetscapes, natural/man-made landscape features, signage, etc.]
- Exterior materials, style, and features [describe the exterior of main buildings/resources]
- Interior materials, style, and features [describe the interior of main buildings/resources]
- Outbuildings/Landscape [describe briefly additional outbuildings/landscape features found on property, substitute Building Complex Form if preferred; See Instructions, page 18]
- Boundaries [explain how/why boundaries chosen, such as historic legal parcel, visual natural features such as tree lines, alley separating modern construction, etc.]
- Integrity [summarize changes to the property and assess how the changes impact its ability to convey significance]

The industrial complex that was the former site of H.B. Marsh & Son, Inc., is located at 11 Foundry Street, Stroud Township, Monroe County, Pennsylvania (**See Location Map**). It is positioned adjacent to major travel routes, including Interstate 80 and Dreher Avenue/State Route 2004. The complex is sited facing Foundry Street, with the I-80W exit 306 ramp to the east, and Dreher Avenue to the west. The area directly around the factory is chiefly residential, which consists primarily of early-to-mid-twentieth century housing, but also features industrial development. The former H.B. Marsh & Son, Inc. foundry is a one-story, multiple-bay industrial complex that was built in 1902 and was expanded at several times over the course of the early-to-mid twentieth century. The complex includes an adjacent residential duplex at 10/12 Foundry Street, which was previously used for employee housing (**See Site Plan**). The complex consists of approximately 2.86 acres of land.

The former foundry office building, which currently houses Ms. Katy's Dance Studio, is one of the earliest buildings within the complex. It is a c. 1902, one-story, three-bay, brick building, with a concrete foundation, and an asphalt-shingled, side-gabled roof with plain box cornice (**Photographs 1 and 2**). The fenestration consists of one-over-one, double-hung windows with vinyl sash that are flanked by fixed, raised-panel shutters. Along the west elevation, an original window and door have been covered with vertical board siding, while another window has been infilled with brick. The arched rowlock brick lintel is still visible above this last window. Along the north elevation, two centrally located, one-over-one, double-hung windows with vinyl sash are flanked by fixed, raised-panel shutters. This building is connected to the former woodworking and machine shop portion of the foundry complex on its south elevation (Sanborn Map 1923).

The woodworking and machine shop was an original portion of the foundry. It is a one-story, multiple-bay industrial type building built c. 1902 (**Photographs 2, 7, and 8**). It has a brick foundation and a flat roof. Originally the machine shop portion had a brick exterior, while the woodworking section was built of frame (Sanborn Map 1923). These have been altered with the later addition of a concrete-block and stucco exterior. Two metal doors with single-pane windows provide access from its north elevation. A roll-up aluminum garage door is located between these doors. They are all located under a short shed-roof overhang. Two original, fixed, nine-light windows with metal sash are located along the north elevation. A concrete and stucco buttress protrudes between these windows. A metal exhaust pipe is located on the west end of the north elevation. A metal door with a single-pane window is centrally located along the west elevation. Flanking this door is a roll-up aluminum garage door and a vertical board garage door with a single-pane window. An interior, metal exhaust cap is centrally located within the flat roof.

A c. 1940, one-story, two-bay deep, eight-bay wide addition is connected to the south elevation of the former woodworking and machine shop (Sanborn Map 1943). This c. 1940 addition has a concrete-block foundation, a stucco exterior, and a flat roof (**Photograph 7**). Access is provided through recessed, double aluminum doors that are located along the west elevation. A modern, tri-partite window is also located along the west elevation. Some of the original fixed, nine-light windows with metal sash are located along

the south elevation, but many have been replaced with fixed, single-pane windows with concrete sills. The most prominent feature of this addition is the large protruding concrete buttresses that rise between each window and door along the south and west elevations. Dark Knight Wrestling is currently housed within this addition, as well as the woodworking section of the former foundry.

Key # _____
ER# 2013-8131-089

A later addition was built onto the southeast corner of this addition c. 1960. This new section connected the two southernmost additions within the complex. It is a one-story, multiple-bay addition, with a concrete-block foundation, stuccoed concrete-block and standing-seam metal exterior, and a flat roof (**Photograph 6**). Two roll-up aluminum garage doors provide access to this addition from its south elevation. A small shed-roof loading entrance is connected to its east elevation. It is supported by metal posts and houses a roll-up aluminum garage door.

The original foundry building is located southeast of the former office building and was built c. 1902. It was originally brick, but is now made up of a composite exterior of brick, concrete block, and board and batten siding (**Photographs 2, 3, and 4**). This large, one-story, multiple-bay foundry building has a concrete foundation, and a side-gabled, corrugated-metal roof. The north elevation has a concrete-block exterior with portions covered in board and batten siding. Irregularly spaced, single and paired, narrow, fixed, single-pane replacement windows, as well as fixed, single-pane windows, and a fixed, twelve-light window line the north elevation. The majority of the east elevation is covered by two small, shed-roof additions. The original brick exterior is visible above these additions. A large window within the gable end has been infilled with concrete-block. The arched, rowlock brick lintel is still visible above this window. An exterior metal exhaust stack rises from the east elevation. Dawe's Motorsports is currently housed within this portion of the foundry. A large, side-gabled, concrete-block addition was connected to the north elevation of the original foundry c. 1925 (Sanborn Map 1930). A c. 1950, large, flat-roof addition was built onto the south elevation of this portion of the foundry as well.

Two additions are located along the east elevation of the original foundry. The additions consist of two, small, one-story, three-bay shed-roof additions, which cover the majority of the east elevation (**Photographs 3 and 4**). These both have concrete-block foundations, concrete-block exteriors, and corrugated-metal shed-roofs. The northern of these two additions was built c. 1925. Two, evenly spaced garage door openings that have been infilled with concrete-block are located along the east elevation. Along the west elevation, there are two, fixed, single-pane windows that flank an exterior concrete-block chimney. The southern addition was built c. 1950, and is connected to the previous addition on its north elevation. Its east elevation is lined with three, evenly spaced, roll-up aluminum garage doors.

As noted above, the c. 1925 foundry addition is attached to the north elevation of the original foundry. This addition is a large, one-story, multiple-bay industrial building. It has a concrete-block foundation, concrete-block and stucco exterior, and a side-gabled, corrugated-metal roof (**Photographs 3 and 5**). Horizontal lapped-board siding sheaths the area within the gable ends. Fixed, nine-light ribbon windows with metal sash line the majority of the north elevation. Fixed, multi-light ribbon windows with metal sash cover the entire height of the central portion of the east elevation. A single, exterior, metal exhaust stack, and multiple, interior, metal exhaust stacks are located on the east sloping gable. An asphalt-shingled shed-roof addition extends the west sloping gable. This small addition has a concrete-block foundation and exterior, and horizontal lapped-board siding within the gable ends. The Pocono Tire and Brake Company is currently housed within the c. 1925 foundry addition.

The c. 1950 addition to the south elevation of the original foundry is a large, one-story, multiple-bay industrial building (**Photograph 6**). It has a concrete-block foundation, concrete-block exterior, and a flat roof. A portion of the east elevation is covered by the c. 1950 shed-roof addition previously discussed. A large, roll-up aluminum garage door is centrally located on the east elevation. Standing-seam metal siding



covers the top half of the south elevation. Evenly spaced windows are located within the standing-seam metal siding. A single, metal door provides access to this addition from the south elevation.

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A former storage building, currently housing JR Drywall & Steel Framing, Inc., is located immediately north of the woodworking shop (**Photographs 8 and 9**). This one-story, three-bay building was built at some point between 1930 and 1943 (Sanborn Map 1943). It has a concrete-block foundation, a stucco exterior, and a front-gabled, asphalt-shingle and corrugated-metal roof, with a plane box cornice. Vinyl siding sheaths the area within the gable ends. An off-center, raised-panel aluminum door with a nine-light window provides access along the east elevation. Two original, fixed, fifteen-light windows with metal sash and rowlock brick sills are located along the east elevation. The north and south elevations are symmetrical. Three, evenly spaced, fixed, nine-light windows with metal sash and rowlock brick lintels are located along both the north and south elevations. Along the west elevation, access is provided by a large, roll-up aluminum garage door. A fixed, nine-light window with metal sash and a rowlock brick sill is located beside this door. An exterior metal exhaust stack extends above the north end of the west elevation.

The duplex at 10/12 Foundry Street is a two-and-one-half-story, four-bay, Foursquare style house that was built c. 1910 (**Photograph 10**). This duplex has a concrete foundation, brick exterior, and a hipped, tile roof. Vinyl-sided, hipped roof dormers are located on the east, west, and south sloping roofs. The fenestration includes six-over-one, two-over-one, and one-over-one, double-hung windows with aluminum sash, as well as, single and paired, two-over-two, double-hung windows with aluminum sash, one-over-one, double-hung windows with vinyl sash, and a one-by-one casement window with vinyl sash. These windows have formed stone sills, with the majority having brick segmental arch lintels as well.

The front doors are housed under a one-story, partial-width, asphalt-shingled shed-roof porch that is centrally located along the west facing façade. This vinyl-sided shed-roof is supported by square wood posts that connected with a modern square spindle balustrade. All of the windows on the façade are flanked by fixed, raised-panel shutters. The north and south elevations are symmetrical in design, with centrally located dormers, interior brick chimneys, and five windows on each elevation. The rear entrances are housed beneath a shared, one-story, partial-width, asphalt-shingled shed-roof porch that is centrally located along the east elevation. It is supported by turned wood posts that sit atop a concrete slab. A concrete walkway leads from both the north and south driveways to the rear entrance. An attached standing-seam metal carport extends east from the northwest corner of the house.

### Integrity

In order to be considered historic, a property must retain integrity to convey its significance. The seven aspects of integrity for historic properties have been developed to include location, design, setting, materials, workmanship, feeling, and association. The industrial buildings at the former site of the H.B. Marsh & Son Inc. foundry are altered examples of an early-twentieth-century industrial complex. The main buildings were built c. 1902, with various additions and alterations added throughout the early to mid-twentieth-century. These changes include multiple additions, the in-filling and replacement of many of the original windows and doors, and the use of replacement materials to cover the original brick and concrete-block exterior. These significant changes and additions have compromised the integrity of materials, workmanship, and design of the original foundry. The complex has also been impacted by the loss of several buildings associated with the foundry's operation, including the "rattlers" building, flask storage building, pattern storage building, and a general storage building. The integrity of setting for the H.B. Marsh & Son, Inc. foundry was diminished with the introduction of Interstate 80 (I-80) in 1963, which led to the loss of much of its original setting. This industrial complex is still positioned at its original site, and therefore maintains its integrity of location. Overall, the H.B. Marsh & Son, Inc. foundry complex is a highly altered example of an early-twentieth century industrial complex that lacks architectural distinction.

## History and Significance (Item 39)

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ER# 2013-8131-089

Provide an overview of the history of the property and its various resources. Do not substitute deeds, chapters from local history books, or newspaper articles. See page 14 of the Instructions for detailed directions. Continue on additional sheets as needed. Suggested outline for organizing this section:

- History [Summarize the evolution of the property from origin to present]
- Significance [Explain why the property is important]
- Context and Comparisons [Describe briefly similar properties in the area, and explain how this property compares]

---

### Resource History

The H. B. Marsh & Son, Inc. foundry began in a small town near Saylorsburg, called Sand Hill. It was here that John Marsh opened an iron foundry in 1848 (“Foundry file” Monroe County Historical Society). Saylorsburg itself was founded by John Marsh and grew up around the foundry. At this point, the Marsh Foundry made, and supplied, iron castings to farmers and other local industries. In 1870, the Marsh Foundry employed four workers and was worth a total of \$5,500 (1870 United States Manufacture’s Census). Upon John’s retirement in the late-nineteenth century, his son, Eugene B. Marsh, took over management of the foundry. The rise of the railroads allowed them to quickly become the foundry’s biggest clients. In 1902, the Marsh Foundry was moved to 1102 Dreher Avenue, now 11 Foundry Street, in order to reduce the cost of transporting castings to the New York, Susquehanna & Western (NYS & W) and the Wilkes-Barre & Eastern Railroad (WB & E) shop yards, which were the main markets for the foundry’s castings. It was also at this time that Horace B. (H. B.) Marsh, Eugene’s brother, and Maturin M. Fetherman, Eugene’s brother-in-law, joined the company. The Marsh Foundry was renamed to J. Marsh & Son at this time (“Foundry file” Monroe County Historical Society). The tract of land where they built the new foundry was originally part of the former Kautz farm. On May 16, 1902, Phillip Kautz, and John J. Kautz and his wife, sold the parcel to John G. Marsh, Eugene Marsh, Horace B. Marsh, and Maturin M. Fetherman (Monroe County Deed Book 55: 617). A second parcel was purchased from Flora A. Kautz, et. al. on July 30, 1908 (Monroe County Deed Book 65: 53). This second purchase brought the total amount of land to approximately 2.86 acres.

After the foundry’s successful establishment on Dreher Avenue, John G. Marsh and his wife, Rachel, passed their entire share in the foundry to Eugene B. Marsh, Horace B. Marsh, and Maturin M. Fetherman, on January 18, 1908 (Monroe County Deed Book 66: 565). Not long after this, the family gave one quarter of the foundry to Horace’s son, Randall J. Marsh (Monroe County Deed Book 66: 567). The J. Marsh & Son foundry continued under Eugene’s management until he died on February 16, 1915. Upon his death, Eugene passed his share to his wife, Emaline Marsh (Monroe County Will Book 7: 274). The management duties of the foundry were passed to H. B. Marsh and Maturin M. Fetherman, which continued unchanged until 1922. It was at this point that Maturin M. Fetherman left the foundry due to poor health. Now managed solely by Horace B. Marsh, the foundry was incorporated, and renamed, to its more familiar name, H. B. Marsh & Son, Inc., on May 1, 1922 (Monroe County Deed Book 87: 152). The 1920 United States Census shows that Horace B. Marsh (age 62) was living in Randall’s house, while working as a machinist and managing the foundry at this point. Thirty-two year old Randall J. Marsh was working as a molder in the foundry. Also living in Randall’s house was his wife, Louise (36), and his daughters, Dorothy (7) and Hellen (5) (1920 United States Federal Census).

Upon Horace’s death in 1926, Randall took over management of the foundry, which employed thirty-six people (R. B. Keller 1927). Ownership of the foundry was officially transferred to Randall J. Marsh on February 18, 1943 (Monroe County Deed Book 142: 329). Randall didn’t maintain possession of the foundry for long, as he sold it to George Schaeffer and Carl Adelman on April 1, 1944 (Monroe County Deed Book 145: 378). This partnership lasted for seven years, until in 1951, when a new partnership was created between George and Alfred J. Schaeffer.



This partnership continued unchanged until August 31, 1961, when the Schaeffer's incorporated the foundry, and renamed it, the Pocono Foundry and Machine Co., Inc.

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(Monroe County Deed Book 289: 509). For the next 25 years the foundry would stay in this ownership group, with the only alteration being a name change from the Pocono Foundry and Machine Co. Inc., to the Pocono Foundry, Inc., which occurred on June 15, 1972 (Monroe County Deed Book 419: 886). The Pocono Foundry, Inc. officially went out of business on March 11, 1986, when the "foundry property", as it is referred to in the deed record, was sold to Marvin Papillon for \$230,000 (Monroe County Deed Book 1481: 604). Marvin Papillon sold the "foundry property" to Dreher Avenue Holdings, LLC for \$1,050,000 on July 9, 2014 (Monroe County Deed Book 2440: 4525).

Along with the former site of the H.B. Marsh & Son, Inc. foundry, the duplex at 10/12 Foundry Street was owned by the foundry, and utilized as worker housing. The "Double house lot," as it is referred to in the deed records, at 10/12 Foundry Street was purchased by H. B. Marsh & Son, Inc. from Laura Hartman on March 24, 1924 (Monroe County Deed Book 142: 327). Willard VanCampen, a laborer, was one of the early employees to rent this house (1927 Stroudsburg City Directory). In 1933, Andress Chess, another laborer, began renting the house at 12 Foundry Drive (1933 Stroudsburg City Directory). Randall J. Marsh expanded this approach to worker housing by purchasing the opposing side of the duplex, at 10 Foundry Drive, from Russel Mervine, on December 4, 1940 (Monroe County Deed Book 136: 219). H. B. Marsh & Son, Inc. sold the house to Randall J. Marsh for \$2,500 on February 18, 1943 (Monroe County Deed Book 142: 329). In 1944, Horace B. Frantz, a molder at the foundry, was living at 10 Foundry Drive, while Otto Bahr was living at 12 Foundry Drive (1944 Stroudsburg City Directory). Upon Randall's death on November 23, 1957, the property was passed to his wife, Louise, and was thus temporarily disconnected from the foundry. Louise then passed the house down to her daughter, Helen Marsh, on November 6, 1959 (Monroe County Deed Book 261: 209).

On February 16, 1960, Helen Marsh sold the house to George and Alfred J. Schaeffer for \$5,500 (Monroe County Deed Book 263: 541). This sale once again combined the "Double House lot" with the foundry, as the Schaeffer's continued the Marsh's use of the house as worker housing. The Schaeffer's then sold the house to the Pocono Foundry and Machine Co., Inc. on August 31, 1961 for \$55,000 (Monroe County Deed Book 289: 509). In 1961, H. B. Hummel, a laborer at the Pocono Foundry and Machine Co., Inc., was renting the house at 10 Foundry Drive (1961 Stroudsburg City Directory). The Pocono Foundry and Machine Co., Inc. sold the house to the Pocono Foundry, Inc. on June 15, 1972, for \$70,500 (Monroe County Deed Book 419: 886). On March 11, 1986, Pocono Foundry, Inc. sold the house to Susan McKean for \$57,900 (Monroe County Deed Book 1483: 207). From this point forward, the "Double House lot" no longer had any connection to the foundry. Susan McKean owned the house until October 15, 2004, when she sold it to its current owners, William C. and Susan M. Hachemeister (Monroe County Deed Book 2205: 1177).

### Historic Context

The mid-nineteenth to early-twentieth century was a period of drastic change for the area around Stroudsburg, Pennsylvania. The area had grown quickly thanks to its abundance of raw materials, streams, and natural beauty, leading it to develop as both a tourist and industrial center within Monroe County. The discovery of coal and bluestone deposits, combined with the burgeoning tourist industry, led to the introduction of the railroads that would transform the area in the mid-to-late nineteenth century. The Delaware, Lackawanna & Western Railroad (DL & W) was the first to arrive in 1856, followed quickly by the New York, Susquehanna & Western (NYS & W) and the Wilkes-Barre & Eastern (WB & E) Railroads. This increased transportation allowed quick and easy transport of products to the major markets in New York and Philadelphia, and created an increased industrial presence in Stroudsburg. These railroads were the catalyst that changed this area from a rural agricultural land, into the urban, industrialized area that it currently is (Summa 1998).

By 1850, several foundries were already established throughout Monroe County. These early foundries predominantly worked to aid in the repair of industrial machines and to produce agricultural implements. John Salma owned a small foundry in the Borough of Stroudsburg that primarily dealt in these fields (1850 Manufacture's Census). Simeon Schoonover owned and operated another foundry in nearby Smithfield Township (1850 Manufacture's Census). The Analomink foundry produced bar iron that was predominantly used to service, and repair, the equipment for the silk and grist mills of Monroe County (Appel, 1995). By 1870, five more foundries had been built within Monroe County (1870 Manufacturer's Census). These included one in Chestnuthill Township, another in Ross Township, one in Pocono Township, and one located within Stroudsburg. The fifth foundry was the H.B. Marsh & Son, Inc. foundry, though at this point it was still located at its previous site in Hamilton Township and known as the Marsh Foundry.

With the presence and prominent position of the railroads in the area, the ability to repair railroad cars and machinery became a major concern. The New York, Susquehanna & Western Railroad (NYS & W) established a major car repair and logistical center in Stroudsburg to help alleviate this problem. The shops included a car repair shop, engineer repair shop, boiler shop, blacksmith shop, casting supply shed, carpenter shop, and a variety of other support structures (Sanborn Map Company, 1930). These shops needed foundries to create the parts needed to fix the railroad cars. The H.B. Marsh & Son foundry was one of the many foundries to take advantage of this opportunity. In 1902, in order to cut down on shipping expenses and gain proximity to these railroads, John and Eugene Marsh moved their foundry from Hamilton Township to 11 Foundry Street, in Stroudsburg, just north of these repair shops. This allowed them to be closer to their biggest client, the railroads, and in particular the NYS & W.

#### National Register of Historic Places Evaluation

The former site of the H. B. Marsh & Son, Inc. foundry was evaluated based upon the criteria set forth in the National Register Bulletin 15: "How to Apply the National Register for Evaluation." The property does not appear to be associated with any important historic events or trends under Criterion A. It was a part of the increased industrialization of Monroe County in the late-nineteenth and early-twentieth centuries, but does not hold a prominent position in that movement. As evaluated under Criterion B, the H. B. Marsh & Son, Inc. foundry is not known to be associated with any individuals of local, state, or national significance. As evaluated under Criterion C, the H. B. Marsh & Son, Inc. foundry has seen multiple additions expanding the original industrial complex, along with numerous and significant alterations to the original portions of the buildings. Multiple windows and doors have been supplanted by modern replacements, while others have been completely in-filled. The exterior appearance of the foundry has also been altered through the use of stucco to cover a large portion of the original brick exterior. The complex has also been impacted by the loss of several buildings associated with the foundry's operation, including the "rattlers" building, flask storage building, pattern storage building, and a general storage building. These alterations and additions have significantly diminished the architectural integrity of the former H. B. Marsh & Son, Inc. foundry. Overall, there is little architectural cohesiveness of design among the buildings and additions throughout the former H. B. Marsh & Son, Inc. foundry complex. Archaeological investigations have not been conducted on the property; therefore, the resource's eligibility under Criterion D (potential to yield information important to history or prehistory) cannot be assessed at this time. The H. B. Marsh & Son Inc. foundry is recommended **not eligible** for the National Register of Historic Places.



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Photograph 1: View looking southeast at the north and west elevations of the office building section of the former H.B. Marsh & Son, Inc. foundry.



Photograph 2: View looking south at the north elevation of the office building section of the former H. B. Marsh & Son, Inc. foundry.



Photograph 3: View looking south at the north and east elevations of the former H. B. Marsh & Son, Inc. foundry.



Photograph 4: View looking southwest at two additions connected to the original east elevation of the former H. B. Marsh & Son, Inc. foundry.





Photograph 5: View looking southwest at the north and east elevations former H. B. Marsh & Son, Inc. foundry.



Photograph 6: View looking northwest at the east and south elevations of the former H. B. Marsh & Son, Inc. foundry.



Photograph 7: View looking northeast at the west and south elevations of the former H. B. Marsh & Son, Inc. foundry.



Photograph 8: View looking southeast at the north and west elevations of the former H. B. Marsh & Son, Inc. foundry.





Photograph 9: View looking southwest at the north and east elevations of a building within the former H. B. Marsh & Son, Inc. foundry complex.



Photograph 10: View looking east at the north and west facing façade of the house at 10/12 Foundry Street.

# Historic Resource Survey Form

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION  
 Pennsylvania State Historic Preservation Office (PA SHPO)

Key # _____
ER# <u>2013-8131-089</u>

## Name, Location and Ownership *(Items 1-6; see Instructions, page 4)*

**HISTORIC NAME:** Stroudsburg Motor Supply Company  
**CURRENT/Common NAME:** 499 Main Street  
**STREET ADDRESS:** 499 Main Street, Stroudsburg, Pennsylvania **ZIP:** 18360  
**LOCATION:** Southeast corner of the intersection of Main Street and SR 191, bounded by McMichael Creek to the south  
**MUNICIPALITY:** Stroudsburg Borough **COUNTY:** Monroe  
**TAX PARCEL #/YEAR:** 18730007685914 **USGS QUAD:** Stroudsburg, PA  
**OWNERSHIP**  Private  
 Public/Local  Public/County  Public/State  Public/Federal  
**OWNER NAME/ADDRESS:** Scott M & Claranne P Mathiesen, 308 Main Street, Stroudsburg, PA 18360.  
**CATEGORY OF PROPERTY**  Building  Site  Structure  Object  District  
**TOTAL NUMBER OF RESOURCES:** 1

## Function *(Items 7-8; see Instructions, pages 4-6)*

Historic Function	Subcategory	Particular Type
<u>Commerce/Trade</u>	<u>Business</u>	<u>Store</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
Current Function	Subcategory	Particular Type
<u>Commerce/Trade</u>	<u>Warehouse</u>	<u>Warehouse</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

## Architectural/Property Information *(Items 9-14; see Instructions, pages 6-7)*

### ARCHITECTURAL CLASSIFICATION

<u>Vernacular</u>	_____
_____	_____
_____	_____

### EXTERIOR MATERIALS and STRUCTURAL SYSTEM

Foundation	<u>Concrete</u>	_____
Walls	<u>Brick</u>	_____
Roof	_____	_____
Other	_____	_____
Structural System	<u>Steel</u>	_____

**WIDTH:** 50 (feet) or 3 (# bays) **DEPTH:** 40 (feet) or 2 (# rooms) **STORIES/HEIGHT:** 1



**Property Features** (Items 15-17; see Instructions, pages 7-8)

Setting: Urban

**Ancillary Features**

Gravel parking lot \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Acreage: .10 (round to nearest tenth)

**Historical Information** (Items 18-21; see Instructions, page 8)

Year Construction Began: 1946  Circa      Year Completed \_\_\_\_\_  Circa

Date of Major Additions, Alterations \_\_\_\_\_  Circa      \_\_\_\_\_  Circa      \_\_\_\_\_  Circa

Basis for Dating  Documentary  Physical

Explain: Based upon physical inspection, tax records and background literature research

Cultural/Ethnic Affiliation(s): N/A

Associated Individual(s): None

Associated Event(s): None

Architect(s): Unknown

Builder(s): Unknown

**Submission Information** (Items 22-23; see Instructions, page 8)

Previous Survey/Determinations: None

Threats  None  Neglect  Public Development  Private Development  Other

Explain: The property is located within the APE for the SR 0080-17M Reconstruction Project

This submission is related to a  non-profit grant application  business tax incentive  
 NHPA/PA History Code Project Review  other

**Preparer Information** (Items 24-30; see Instructions, page 9)

Name & Title: Charles Richmond, MA/Architectural Historian

Date Prepared: May 3, 2016

Project Name: SR 0080-17M Reconstruction Project

Organization/Company: McCormick Taylor, Inc.

Mailing Address: 5 Capital Drive, Suite 400, Harrisburg, Pennsylvania 17110

Phone: 717-540-6040

Email: carichmond@mccormicktaylor.com



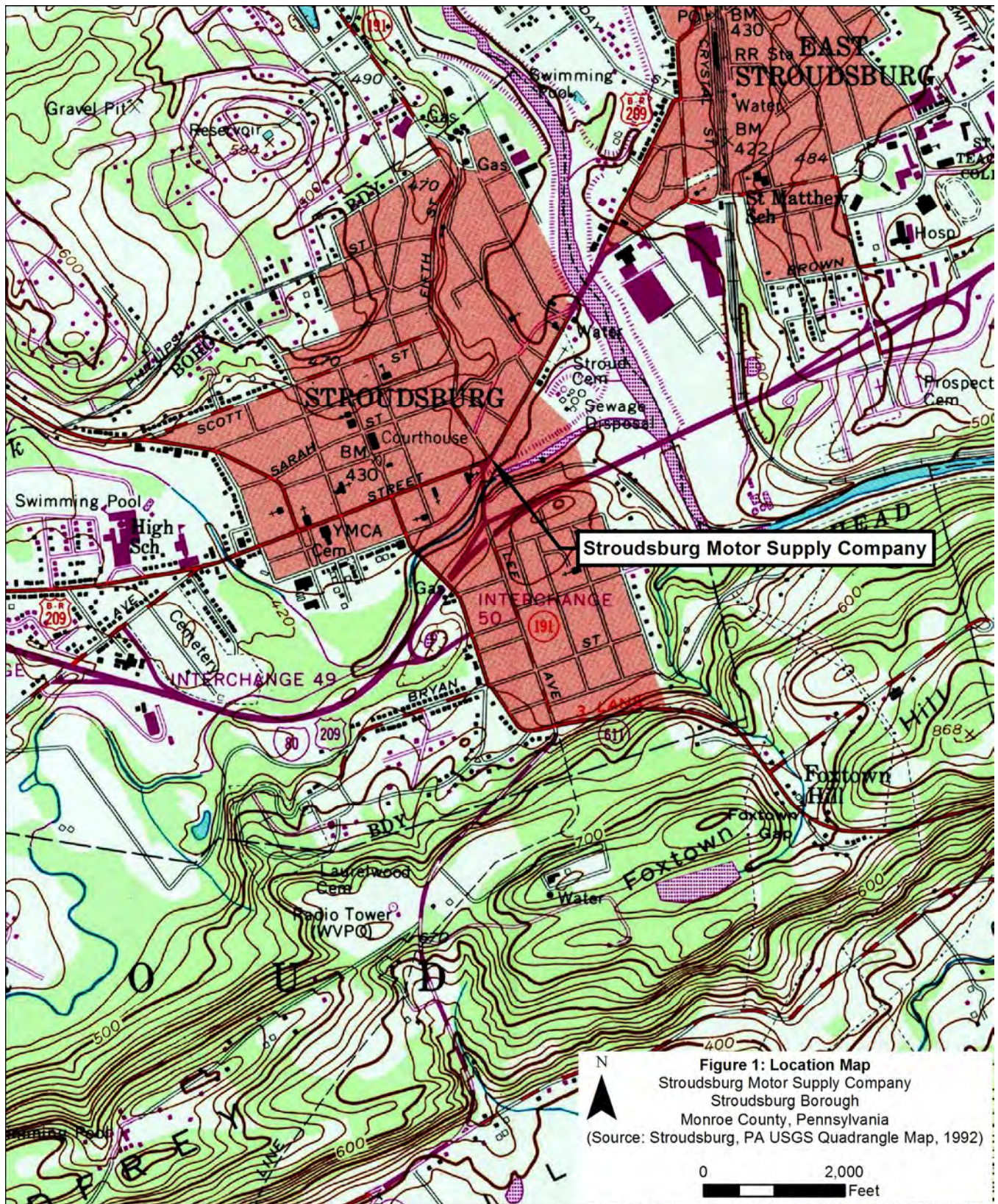






**Location Map** (Item 34)

See page 11 of the Instructions for more information regarding the site plan. Create a sketch of the property, showing the footprint of all buildings, structures, landscape features, streets, etc. Label all resources and streets. Include a North arrow and a scale bar (note if scale is approximate). This sheet may be used to sketch a plan or another map/plan may be substituted.





**Site Plan** (Item 35)

See page 11 of the Instructions for more information regarding the floor plan. Provide a floor plan for the primary buildings, showing all additions. Label rooms and note important features. Note the date of additions. Include a North arrow and a scale bar (note if scale is approximate) or indicate width/depth dimensions. This sheet may be be used to sketch a floor plan or another map/plan may be substituted.



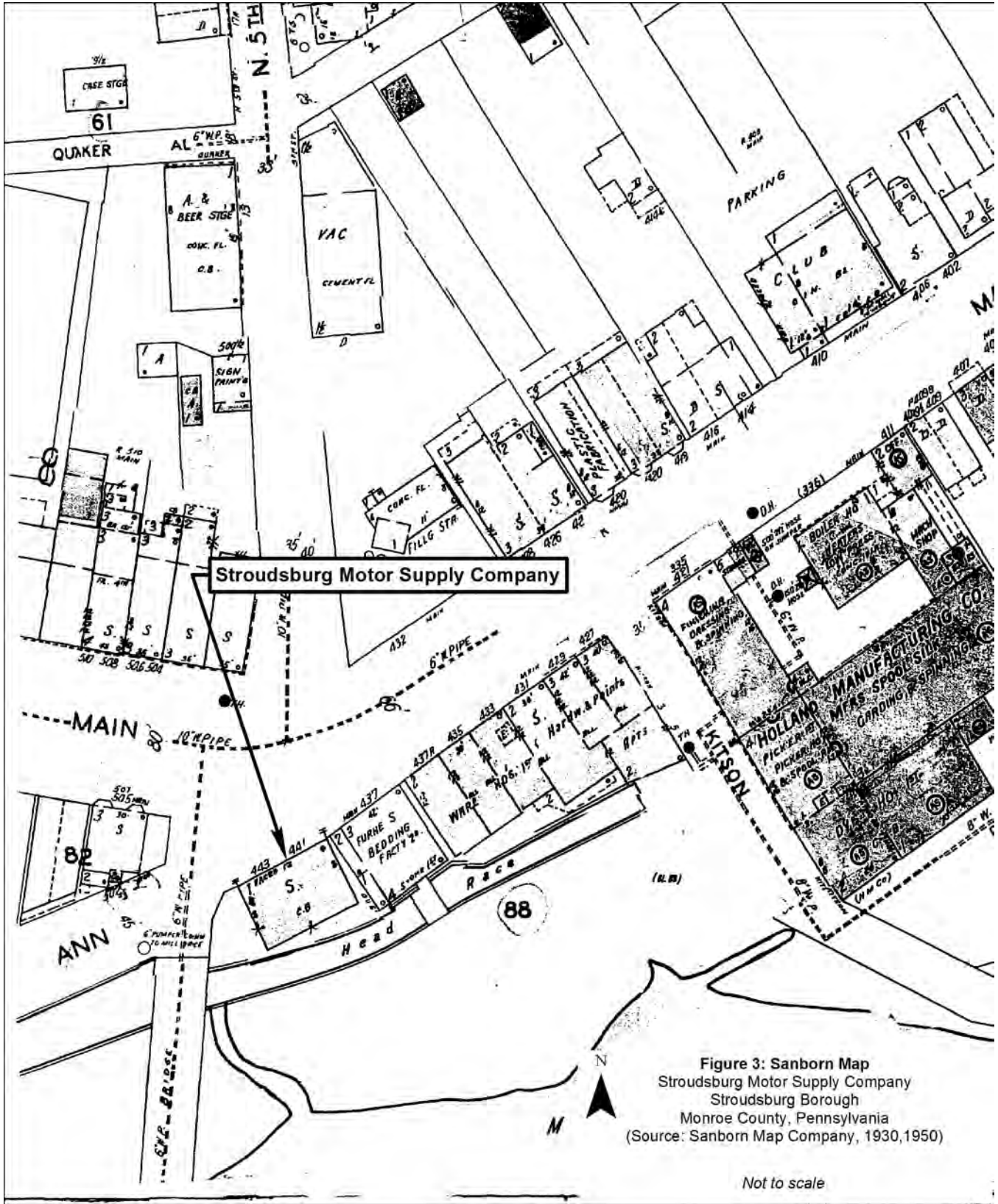


Figure 3: Sanborn Map  
 Stroudsburg Motor Supply Company  
 Stroudsburg Borough  
 Monroe County, Pennsylvania  
 (Source: Sanborn Map Company, 1930,1950)



## Physical Description and Integrity (Item 38)

Provide a current description of the overall setting, landscape, and resources of the property. See page 13 of the Instructions for detailed directions. Continue on additional sheets as needed. Suggested outline for organizing this section:

- Introduction [summarize the property, stating type(s) of resource(s) and function(s)]
- Setting [describe geographic location, streetscapes, natural/man-made landscape features, signage, etc.]
- Exterior materials, style, and features [describe the exterior of main buildings/resources]
- Interior materials, style, and features [describe the interior of main buildings/resources]
- Outbuildings/Landscape [describe briefly additional outbuildings/landscape features found on property, substitute Building Complex Form if preferred; See Instructions, page 18]
- Boundaries [explain how/why boundaries chosen, such as historic legal parcel, visual natural features such as tree lines, alley separating modern construction, etc.]
- Integrity [summarize changes to the property and assess how the changes impact its ability to convey significance]

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### Setting

The Stroudsburg Motor Supply Company is located at 499 Main Street in the Borough of Stroudsburg, Monroe County, Pennsylvania (**See Location Map**). The commercial building is situated at the intersection of several roads, including Main Street, SR 191 (Broad Street), N. 5<sup>th</sup> Street, and Ann Street. The immediate setting is composed primarily of late nineteenth and twentieth century commercial properties and former industrial structures (**See Site Plan**). The Stroudsburg Motor Supply Company partially abuts 437 Main Street, a three-story commercial building with apartments on the upper floors, to the east. A modern brick sidewalk is found adjacent to the north and west sides of the commercial building. A gravel parking area is immediately south of the building. The National Register eligible Stroudsburg Commercial Historic District is located to the west. The SR 191 Bridge over McMichael Creek (#136598), previously determined ineligible for the NRHP, is located southwest of the property. McMichael Creek is located to the south of 499 Main Street and the area between the creek and 499 Main Street is a graded channel.

### Physical Description

The Stroudsburg Motor Supply Company, at 499 Main Street, is a one-story, four-bay mid twentieth century commercial building. The building is constructed into an embankment, with two stories along the south side of the structure. The structure rests upon a concrete block foundation and has a painted brick exterior and steel structural system. The commercial building has a flat roof with a parapet along the north, east and west elevations. The parapet is capped with glazed ceramic tiles. The main entrance is located along the north elevation, facing onto Main Street (**Photograph 1**). The glass door with aluminum framing is centrally located along the façade and is flanked by two storefront windows. The storefront windows are composed of three-part fixed windows with aluminum framing and sash. A one-bay garage door is found at the northeast corner of the façade.

The west elevation is two bays wide and one story in height with a brick exterior (**Photographs 2 and 3**). The elevation includes two modern three-part picture windows with aluminum frames and sash. A brick soldier course lintel is found above each window. An exterior brick chimney is found along the west elevation and extends above the roofline.

The south elevation has a basement level and upper floor (**Photograph 4**). A wood paneled door is located at the southwest corner, but lacks a staircase to provide entry from the ground level. A wood frame and landing, which formerly included a staircase, is beneath the wood door. The fenestration on the upper floor is composed of paired one-over-one double hung windows with wood sashes and trim. A metal door provides access to the basement level and is accessed by a concrete staircase. The entrance is sheltered with a shed-roof hood supported with wood braces. Two single light recessed windows with wood surrounds are found on the basement level. There is no parapet along the south elevation.

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The east elevation of the Stroudsburg Motor Supply Company building partially abuts the building located at 437 Main Street (**Photograph 4**). The east elevation has a concrete block exterior and lacks any windows. A concrete block parapet is located along the roofline.

### **Integrity Statement**

The Stroudsburg Motor Supply Company was built in 1946 as an automotive supply company warehouse and office. The property retains its historic *location* and commercial downtown *setting*. The building retains its *design, materials, and workmanship*. The factory does retain its integrity of *feeling* and *association* with its commercial operation. While the Stroudsburg Motor Supply Company building does retain a strong degree of integrity, it is an undistinguished mid-twentieth century building which is not noted as innovative in its design or construction.



## History and Significance (Item 39)

Provide an overview of the history of the property and its various resources. Do not substitute deeds, chapters from local history books, or newspaper articles. See page 14 of the Instructions for detailed directions. Continue on additional sheets as needed.

Suggested outline for organizing this section:

- History [Summarize the evolution of the property from origin to present]
- Significance [Explain why the property is important]
- Context and Comparisons [Describe briefly similar properties in the area, and explain how this property compares]

During the nineteenth and early-to-mid twentieth centuries the present-day site of the Stroudsburg Motor Supply Company was occupied by a variety of industrial and commercial operations. The site was located in an area dominated by industrial mills which began operating around the mid-1860s. By 1875 the property was owned by William Wallace. In 1885 the Stroudsburg Roller Mill operated immediately east of the site. The mill race associated with the mill operation, woolen mill, and planing mill was set between McMichael Creek and the buildings fronting Main Street. A one-story salt house was found on the site in 1892 (Sanborn Map Company 1892: 4). At that time a pig pen was to the south side of the mill race.

The present-day 499 Main Street location was occupied by a variety of commercial and industrial operations throughout the early-to-mid twentieth century. In 1905 the site was occupied by a two-and-a-half story harness shop, with the address of 338A Main Street, and a one-story hay warehouse at 338 Main Street (Sanborn Map Company 1905: 7). The property was owned by the Frisbie Lumber Company and was leased to Kirkhuff & Heller, mill operators. The harness shop appears to have been converted to a dwelling and upholstery shop after 1905. In 1923 the 499 Main Street site was occupied by 441-443 Main Street, which functioned as a commercial property and included a sign painting business (Sanborn Map Company 1923: 9). In 1930 441-443 Main Street continued as a sign painting business.

The property was owned by members of the LeBar family during the early twentieth century. Henry LeBar purchased the tract from William Wallace on August 2, 1901 (Deed Book 54 Page 375). Wallace owned several industrial operations along McMichael Creek during the mid-nineteenth century, including a saw mill, planing mill, and woolen mill. Henry LeBar died December 23, 1931 and the tract passed to his wife. Henrietta LeBar died on January 31, 1934 (Monroe County Deed Book 120 Page 204). George and Harry LeBar, as executors of the family estate, sold the property to the Stroudsburg Motor Supply Company on April 27, 1944.

During the early twentieth century the Stroudsburg Motor Supply Company operated an automobile garage at 525 Main Street in downtown Stroudsburg. In 1923 the one-story garage had a capacity for 120 vehicles. Several gasoline pumps were installed along Main Street as part of the garage business. In 1941 Bert N. Transue was president and A.B. McDowell served as secretary of the Stroudsburg Motor Supply Company (Calkin-Kelly 1941: 93). Transue and McDowell continued their association with the company through the 1960s. Bert Transue retired from the business in 1962 (Morning Call 1992). Transue was born in 1899 in Northampton County, Pennsylvania and resided in the town of Portland, Pennsylvania. He served with the United States Army during World War I and later attended college at Easton, Pennsylvania. He died April 12, 1992. No information was found relating to A.B. McDowell.

In 1944 the Stroudsburg Motor Supply Company bought the property from the LaBar family. In 1946 the Stroudsburg Motor Supply Company constructed a new commercial building at 499 Main Street, Stroudsburg. Sanborn Maps and city directories from the period recorded the address as 441-443 Main Street, but this was later changed to 499 Main Street. The Stroudsburg Motor Supply Company building is a modest, utilitarian mid-twentieth century commercial structure. The building exhibits many characteristics associated with modern design principles, including a lack of ornamentation, streamlined appearance, and flat roof. The building operated as a service-bay business, featuring a prominent vehicle bay and an attached

office space. The service-bay business was a common mid-twentieth century property type. These commercial buildings lacked architectural distinction and most commonly feature concrete or cinder block construction.

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By the early 1950s there were numerous automobile related businesses in Stroudsburg. Several national chains had stores in the town, including B.F. Goodrich and Dunlop Tire & Rubber. In addition, there were specialty shops, such as the Stroudsburg Auto Seat Cover Shop (Calkin-Kelly 1953: 189). The Stroudsburg Motor Supply Company at 441-443 Main Street sold automotive supplies, but no longer sold gasoline or provided general service, as the store at 525 Main Street location had previously done. By the 1950s several filling stations had been established, including a multi-pump station at 430-432 Main Street directly across the street from the Stroudsburg Motor Supply Company (Sanborn 1930-1950: 9).

The Stroudsburg Motor Supply Company retained the building until the mid-1980s. The property was operated as a NAPA Auto Store during the late twentieth century. On December 2, 1985 the Stroudsburg Motor Supply Company sold the property for \$70,000 to Automotive Financial Services of Middletown, Delaware. The building is currently utilized as storage and is marketed as retail space.

### National Register of Historic Places Evaluation

The Stroudsburg Motor Supply Company building was evaluated according to the criteria set forth in *National Register Bulletin 15: "How to Apply the National Register Criteria for Evaluation."* The property does not appear to be associated with any important historic events or trends under Criterion A. The building was constructed during the 1940s and functioned as a local commercial enterprise. The company was one of several which provided automotive supplies and services during the mid-to-late twentieth century in Stroudsburg. This property does not possess significance in the field of commerce or in association with the automobile industry. As evaluated under Criterion B, the Stroudsburg Motor Supply Company is not known to be associated with any individuals of local, state, or national significance. Bert N. Transue was president of the company throughout much of the early to mid-twentieth century and was active in his community through a variety of affiliations. As evaluated under Criterion C, the Stroudsburg Motor Supply Company does not appear to be eligible for the National Register. The commercial building is an undistinguished example of a utilitarian structure. While the building does retain modernist elements of design and materials, it is not an exceptional or innovative example. Archaeological investigations have not been conducted on the property; therefore, the resource's eligibility under Criterion D (potential to yield information important to history or prehistory) cannot be assessed at this time.

The Stroudsburg Motor Supply Company building is recommended **not eligible** for the National Register of Historic Places due to a lack of historical significance.



## Bibliography

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Photograph 1: North and west elevations of the Stroudsburg Motor Supply Company building.



Photograph 2: West and north elevations of the Stroudsburg Motor Supply Company building.





Photograph 3: View looking northeast at the Stroudsburg Motor Supply Company building.



Photograph 4: View looking northwest at the Stroudsburg Motor Supply Company building.